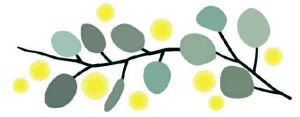
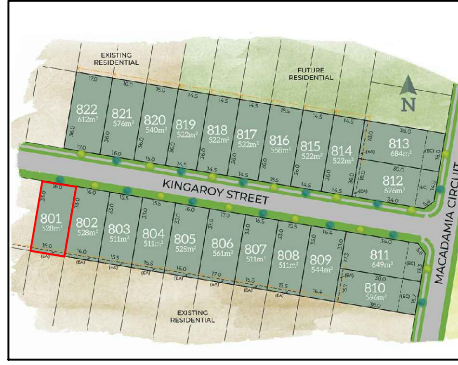


LOT 801, KINGAROY STREET, MEDOWIE

MASTER PLAN

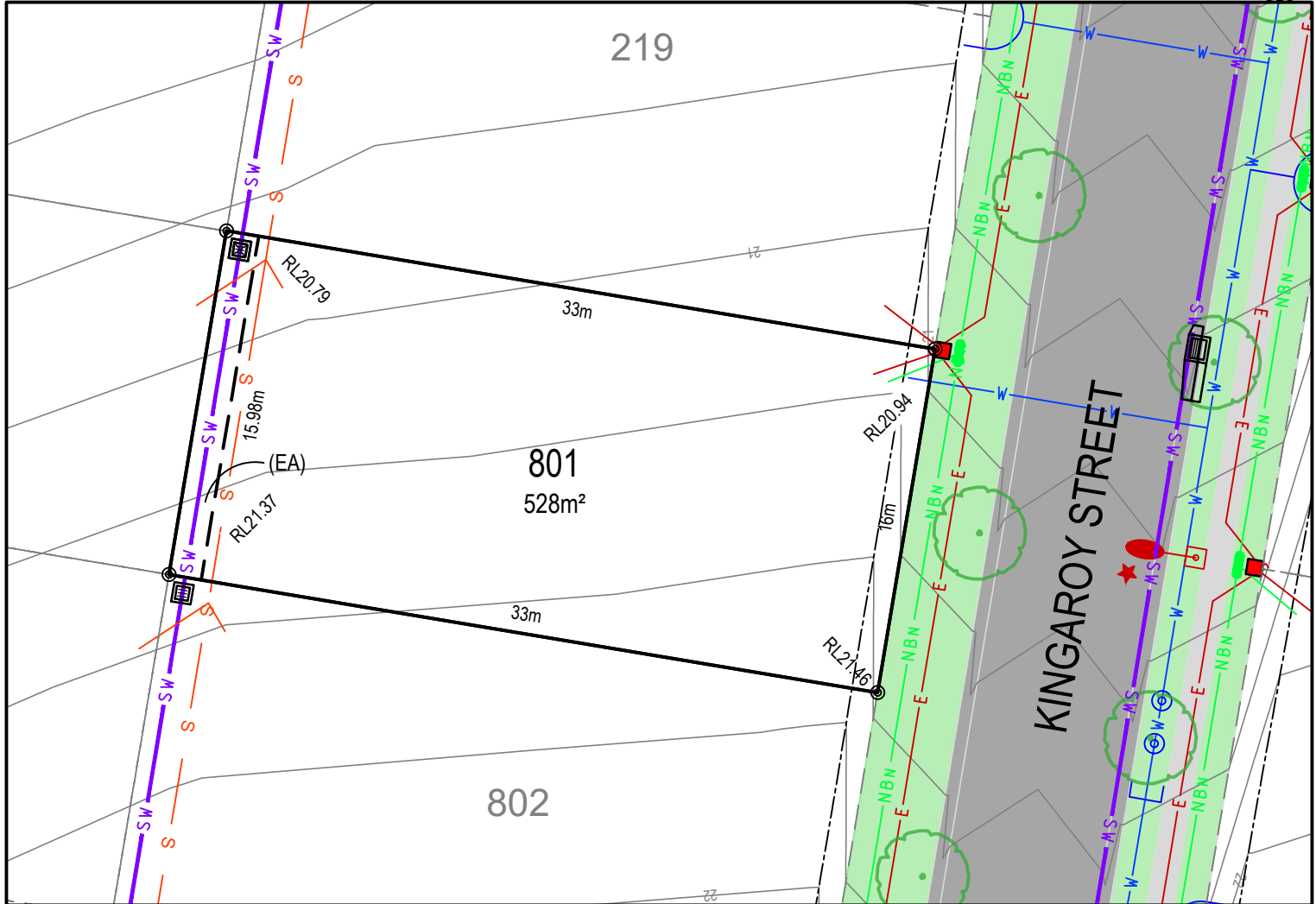


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - SW STORMWATER PIPE
 - S SEWERMAIN
 - S SEWER MAINTENANCE STRUCTURE
 - S SEWER JUNCTION
 - W WATERMAIN
 - O X HYDRANT, STOP VALVE
 - NBN TELSTRA / NBN
 - NBN TELSTRA / NBN PIT
 - E UNDER GROUND POWER
 - E ELECTRICITY PILLAR
 - E ELECTRICAL EASEMENT
 - E LIGHT POLE
 - E RESTRICTION ON THE USE OF LAND
 - E STREET TREES
 - E ASSET PROTECTION ZONE BDY
 - 0.25m CONTOURS

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- (EA) - EASEMENT TO DRAIN WATER 1.5 WIDE
(EB) - RESTRICTION ON USE OF LAND 0.9 WIDE
(EC) - RESTRICTION ON USE OF LAND 8.5 WIDE

REVISION/S: STAGE 8 MARKETING r1

DATE: 17 AUGUST 2021

BY: ACOR CONSULTANTS PTY LTD

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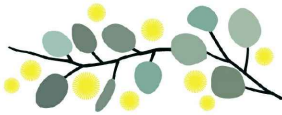
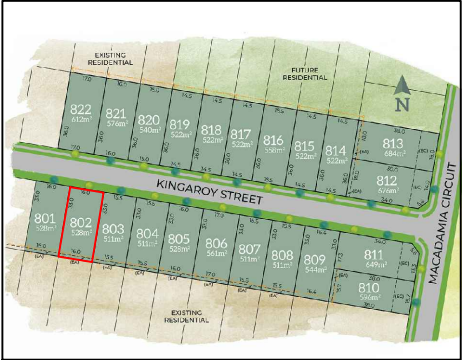
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PROJECT

LOT 802, KINGAROY STREET, MEDOWIE

MASTER PLAN

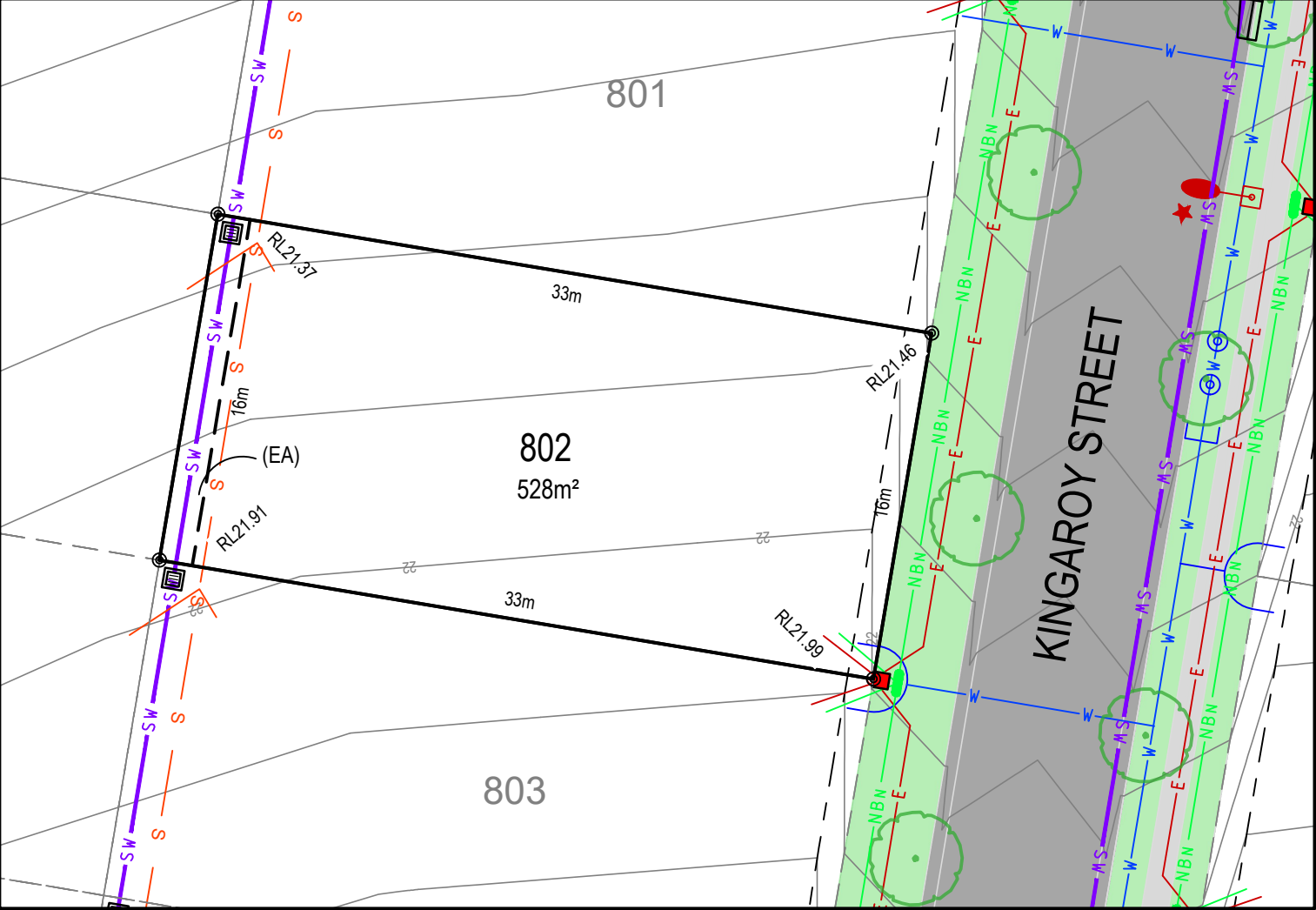


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - STORMWATER PIPE
 - SEWERMAIN
 - SEWER MAINTENANCE STRUCTURE
 - SEWER JUNCTION
 - WATERMAIN
 - HYDRANT, STOP VALVE
 - TELSTRA / NBN
 - TELSTRA / NBN PIT
 - UNDER GROUND POWER
 - ELECTRICITY PILLAR
 - ELECTRICAL EASEMENT
 - LIGHT POLE
 - RESTRICTION ON THE USE OF LAND
 - STREET TREES
 - ASSET PROTECTION ZONE BDY
 - 0.25m CONTOURS

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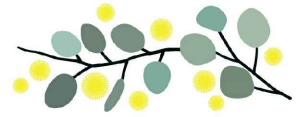
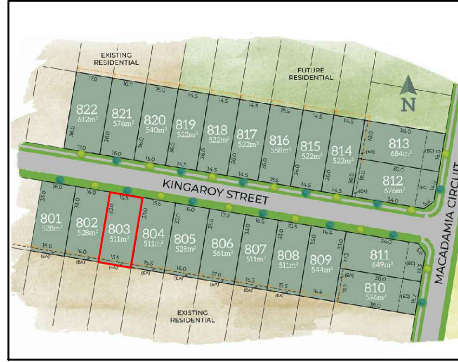
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DATE: 17 AUGUST 2021
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LOT 803, KINGAROY STREET, MEDOWIE

MASTER PLAN

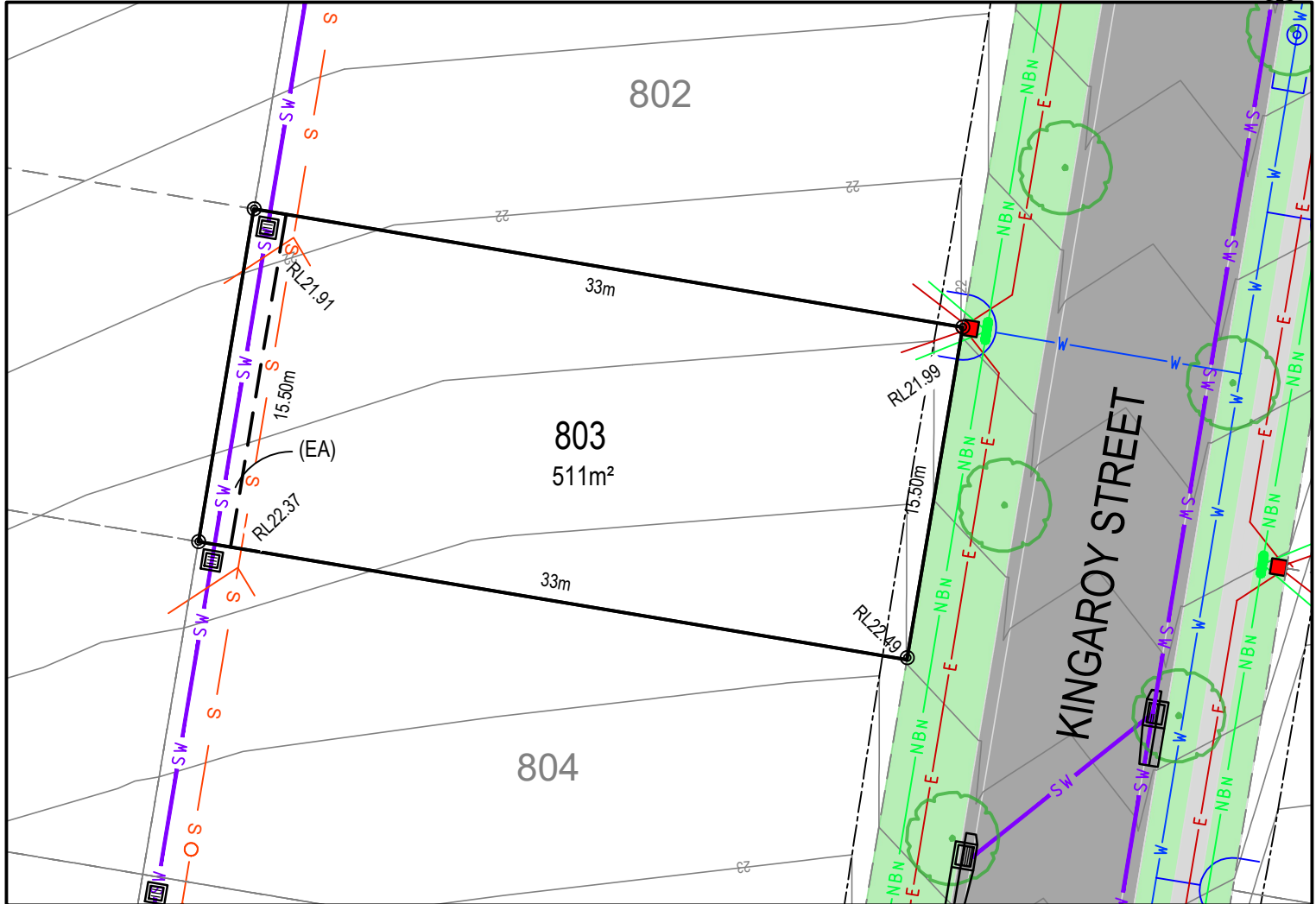


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- BATTER INTERFACE
- RETAINING WALL
- STORMWATER PIT
- SW STORMWATER PIPE
- S SEWERMAIN
- SS SEWER MAINTENANCE STRUCTURE
- SJ SEWER JUNCTION
- W WATERMAIN
- HX HYDRANT, STOP VALVE
- NBN TELSTRA / NBN
- NBN TELSTRA / NBN PIT
- E UNDER GROUND POWER
- EP ELECTRICITY PILLAR
- EE ELECTRICAL EASEMENT
- LP LIGHT POLE
- ROU RESTRICTION ON THE USE OF LAND
- ST STREET TREES
- APZ ASSET PROTECTION ZONE BDY
- 0.25m CONTOURS

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REVISION/S: STAGE 8 MARKETING r1

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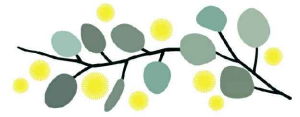
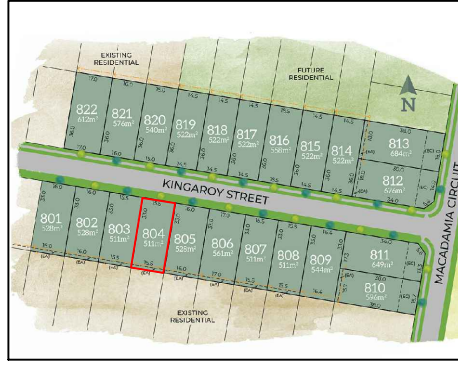
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LOT 804, KINGAROY STREET, MEDOWIE

MASTER PLAN

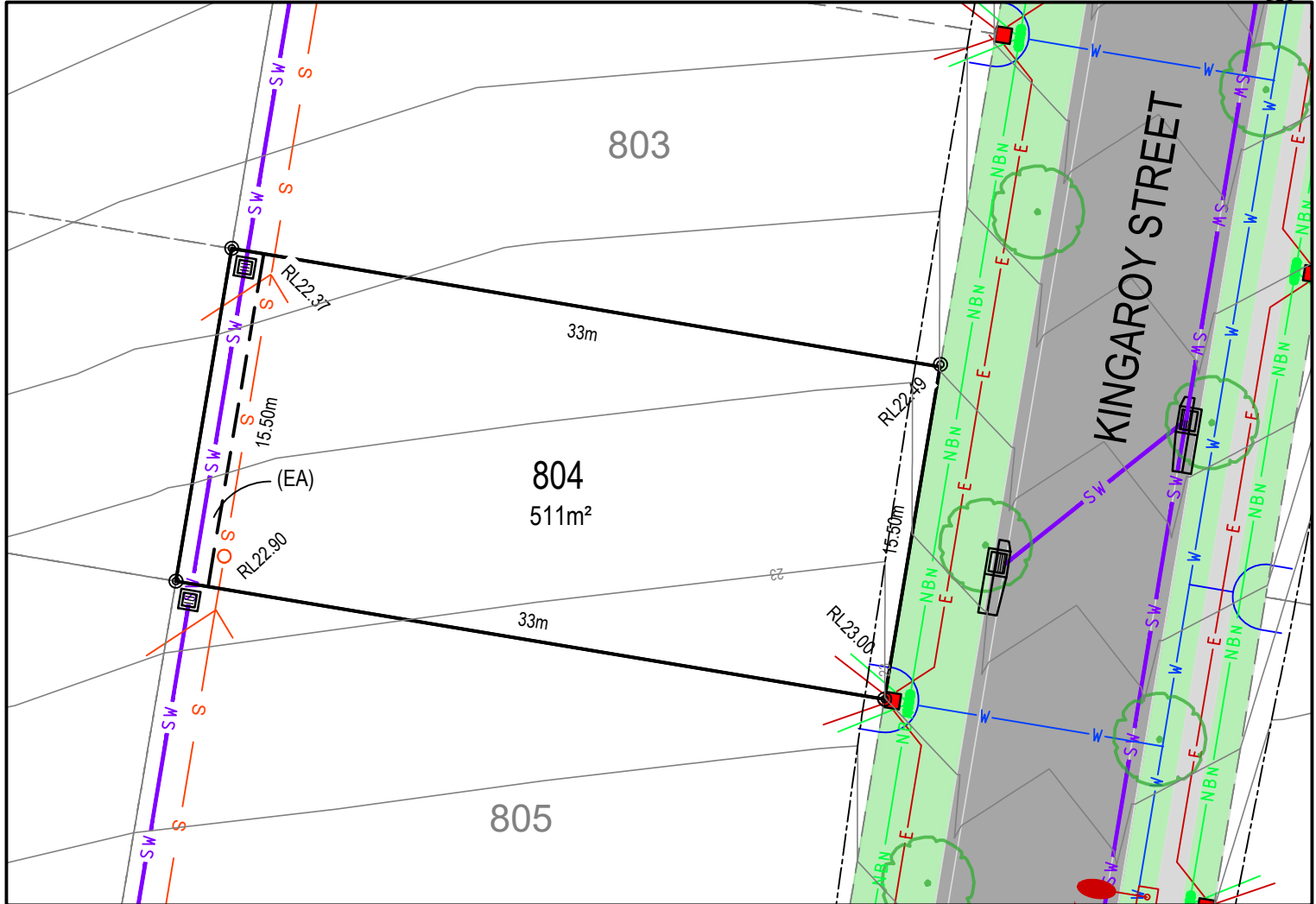


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- BATTER INTERFACE
- RETAINING WALL
- STORMWATER PIT
- SW STORMWATER PIPE
- S SEWERMAIN
- S SEWER MAINTENANCE STRUCTURE
- S SEWER JUNCTION
- W WATERMAIN
- O X HYDRANT, STOP VALVE
- NBN TELSTRA / NBN
- NBN TELSTRA / NBN PIT
- E UNDER GROUND POWER
- E ELECTRICITY PILLAR
- E ELECTRICAL EASEMENT
- E LIGHT POLE
- RESTRICTION ON THE USE OF LAND
- STREET TREES
- ASSET PROTECTION ZONE BDY
- 0.25m CONTOURS

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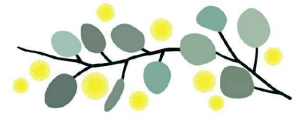
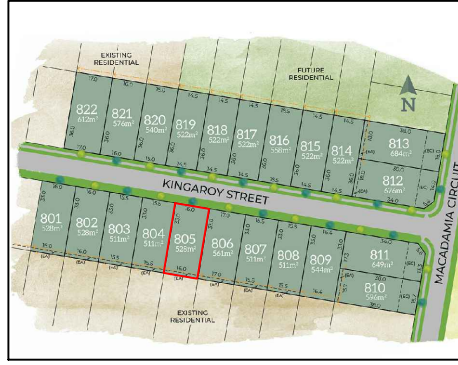
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LOT 805, KINGAROY STREET, MEDOWIE

MASTER PLAN

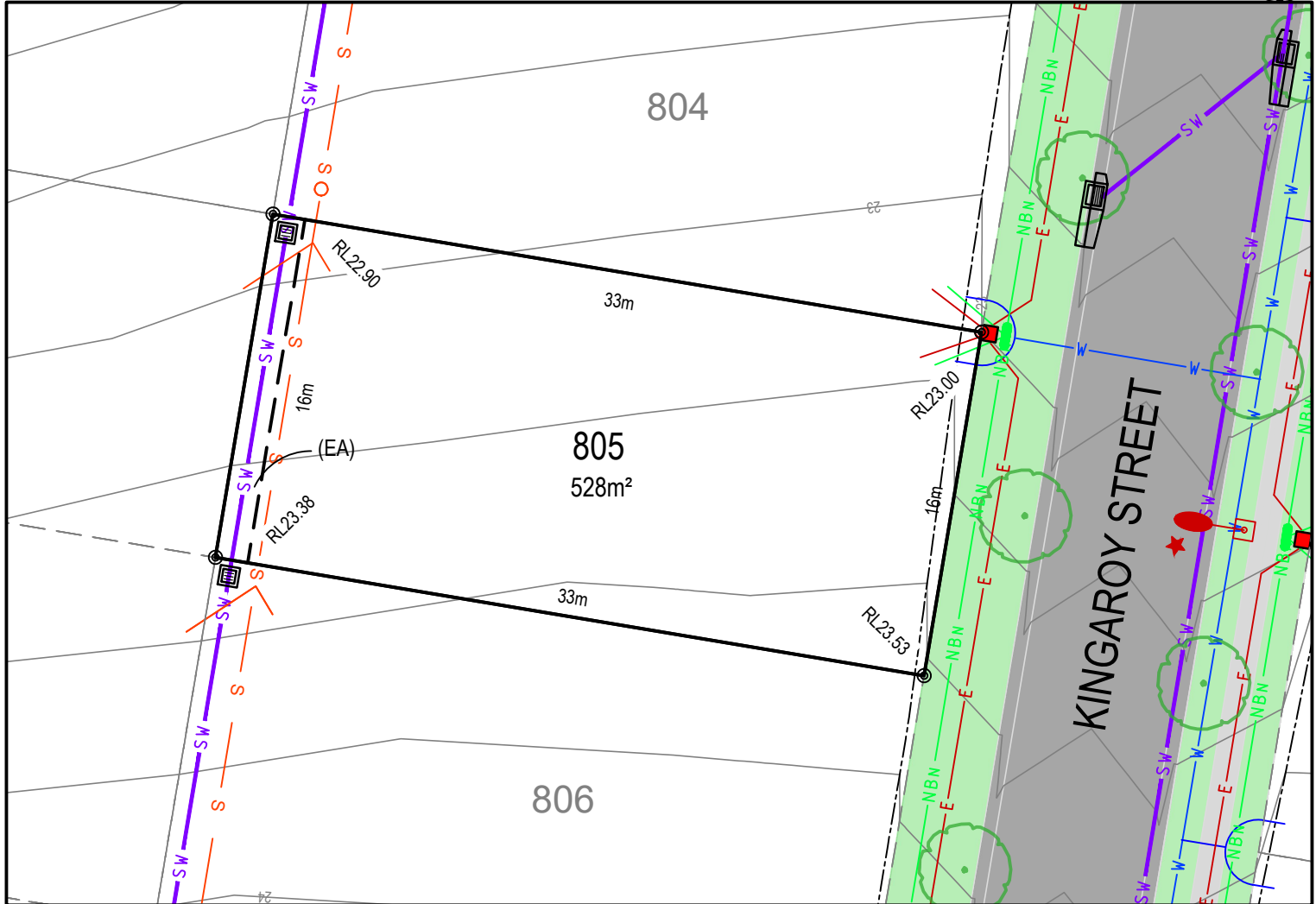


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

	BATTER INTERFACE
	RETAINING WALL
	STORMWATER PIT
	STORMWATER PIPE
	SEWERMAIN
	SEWER MAINTENANCE STRUCTURE
	SEWER JUNCTION
	WATERMAIN
	HYDRANT, STOP VALVE
	TELSTRA / NBN
	TELSTRA / NBN PIT
	UNDER GROUND POWER
	ELECTRICITY PILLAR
	ELECTRICAL EASEMENT
	LIGHT POLE
	RESTRICTION ON THE USE OF LAND
	STREET TREES
	ASSET PROTECTION ZONE BDY
	0.25m CONTOURS

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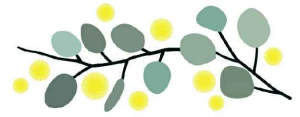
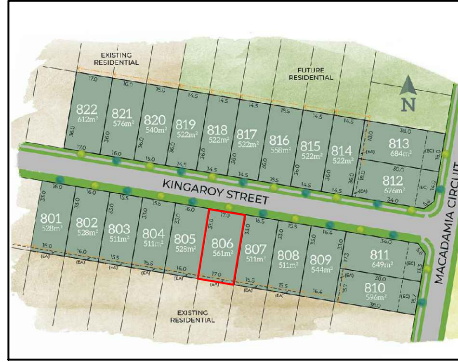
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PROJECT

LOT 806, KINGAROY STREET, MEDOWIE

MASTER PLAN

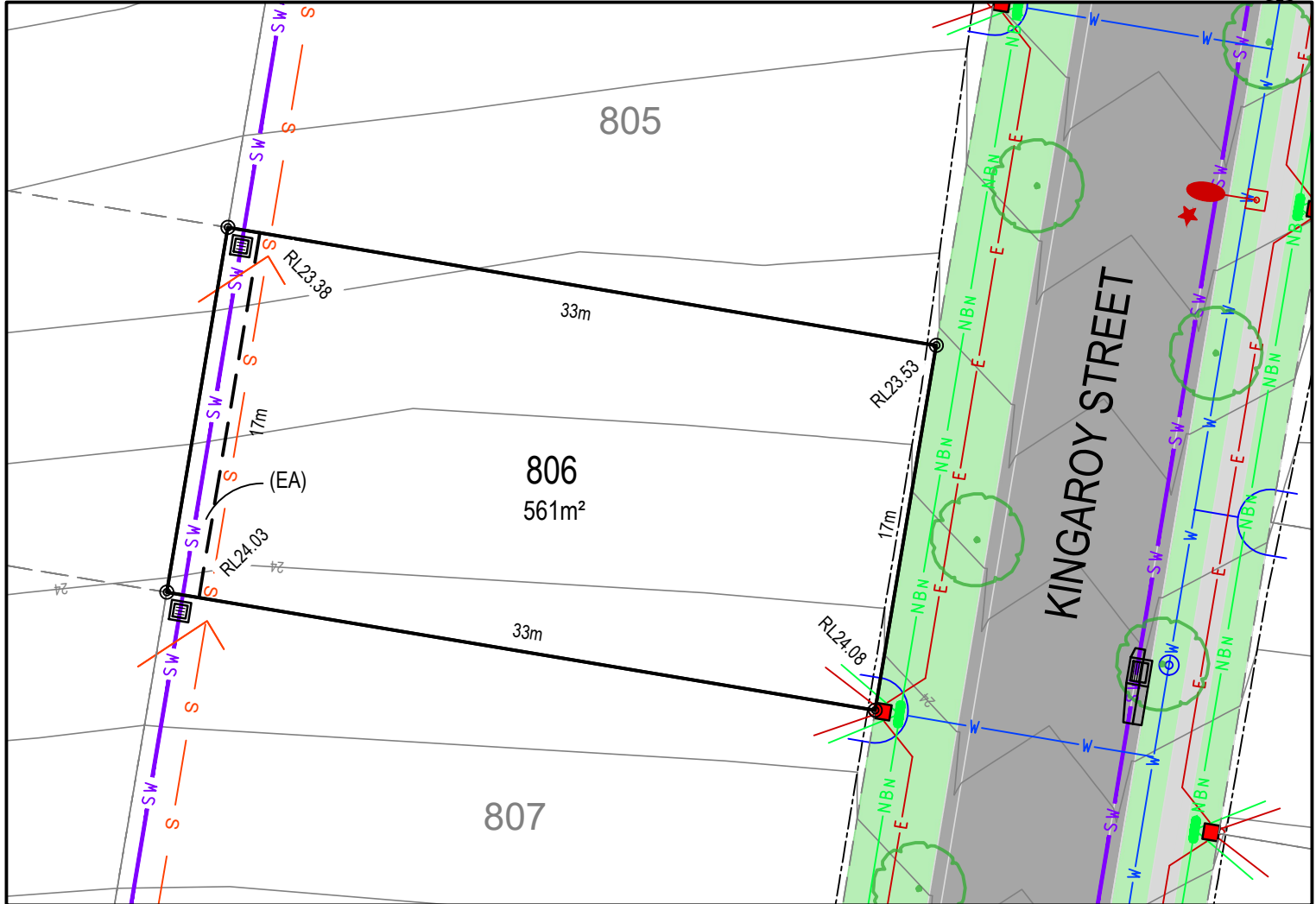


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - SW STORMWATER PIPE
 - S SEWERMAIN
 - S SEWER MAINTENANCE STRUCTURE
 - S SEWER JUNCTION
 - W WATERMAIN
 - O X HYDRANT, STOP VALVE
 - NBN TELSTRA / NBN
 - NBN TELSTRA / NBN PIT
 - E UNDER GROUND POWER
 - E ELECTRICITY PILLAR
 - E ELECTRICAL EASEMENT
 - E LIGHT POLE
 - R RESTRICTION ON THE USE OF LAND
 - S STREET TREES
 - A ASSET PROTECTION ZONE BDY
 - 0.25m CONTOURS

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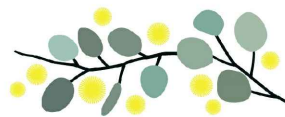
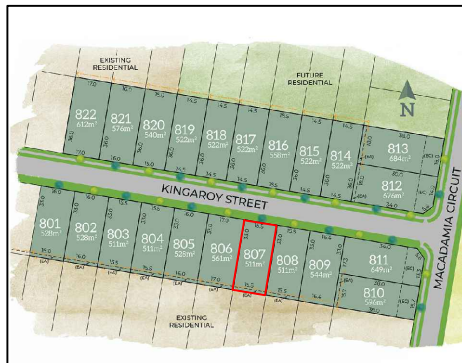
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LOT 807, KINGAROY STREET, MEDOWIE

MASTER PLAN

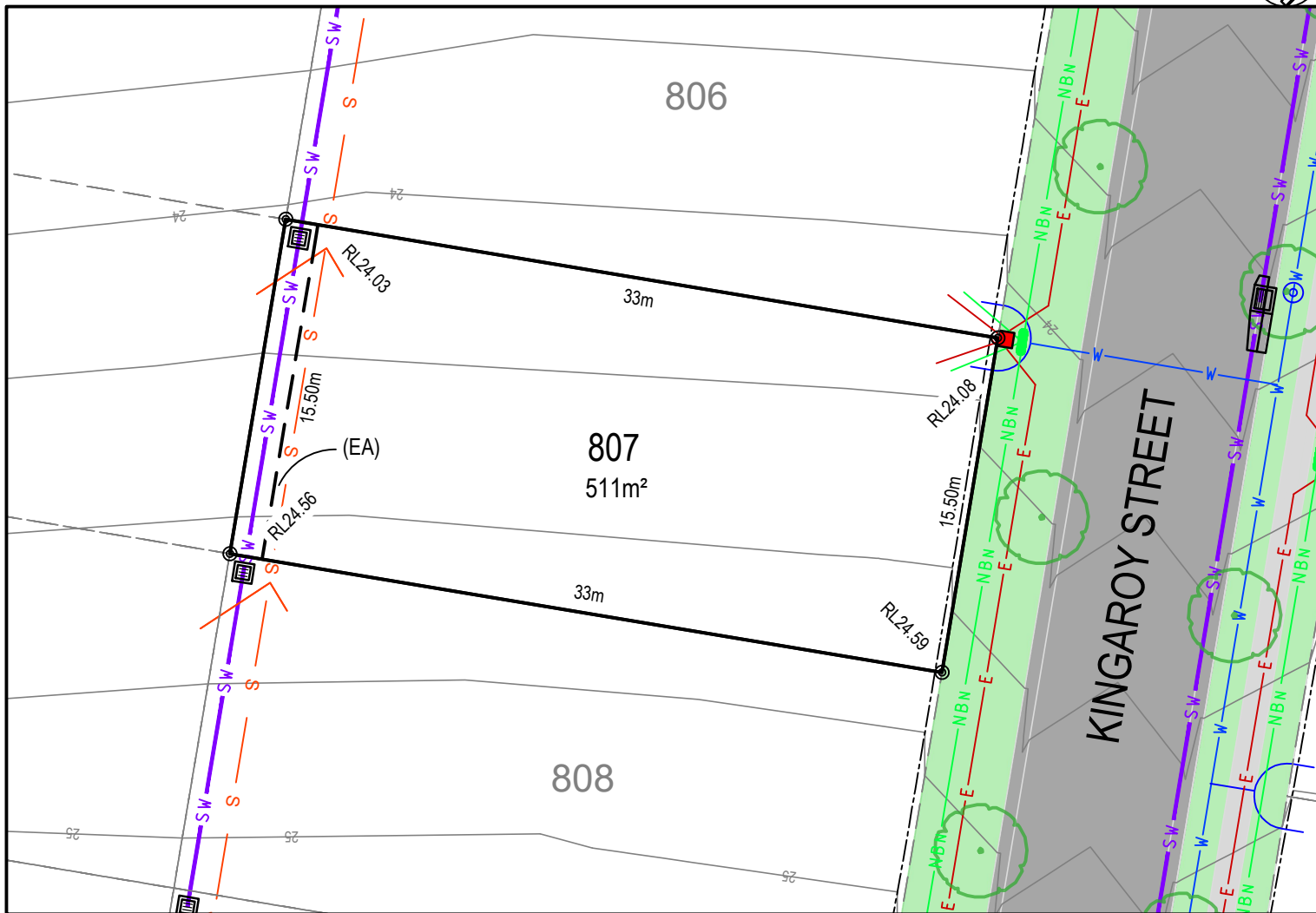


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- BATTER INTERFACE
- RETAINING WALL
- STORMWATER PIT
- SW STORMWATER PIPE
- S SEWERMAIN
- S SEWER MAINTENANCE STRUCTURE
- S SEWER JUNCTION
- W WATERMAIN
- H HYDRANT, STOP VALVE
- NBN TELSTRA / NBN
- NBN TELSTRA / NBN PIT
- E UNDER GROUND POWER
- E ELECTRICITY PILLAR
- E ELECTRICAL EASEMENT
- L LIGHT POLE
- R RESTRICTION ON THE USE OF LAND
- S STREET TREES
- ASSET PROTECTION ZONE BDY
- 0.25m CONTOURS

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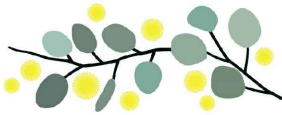
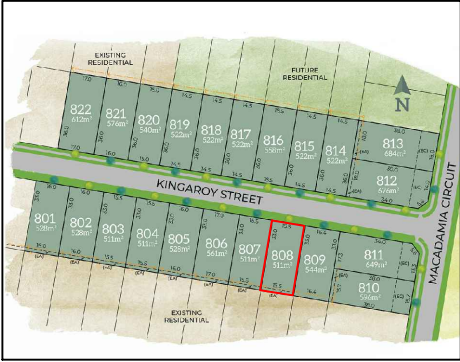
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GROUP
PROJECT

LOT 808, THE GARDENS, MEDOWIE

MASTER PLAN

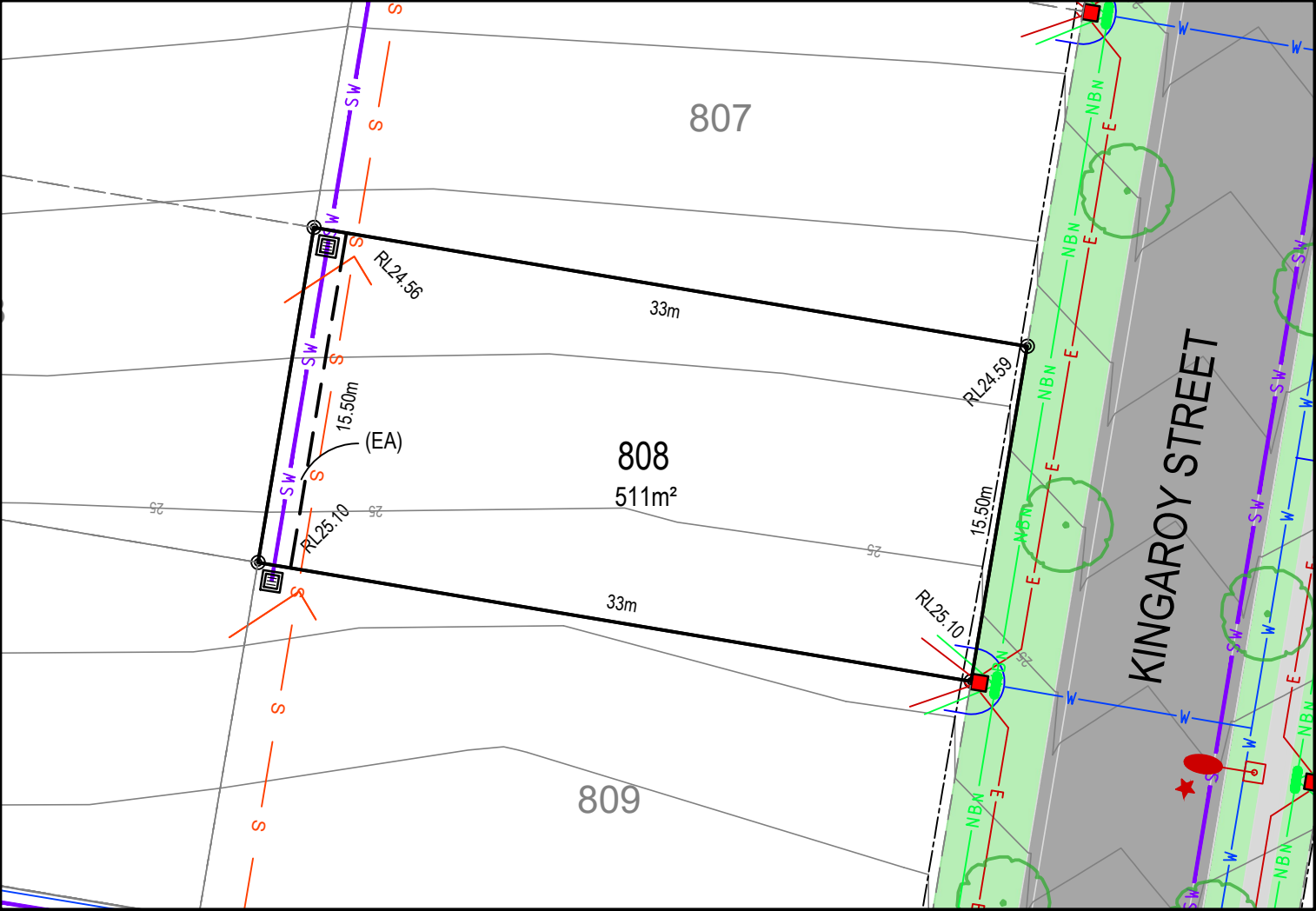


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - STORMWATER PIPE
 - SEWERMAIN
 - SEWER MAINTENANCE STRUCTURE
 - SEWER JUNCTION
 - WATERMAIN
 - HYDRANT, STOP VALVE
 - TELSTRA / NBN
 - TELSTRA / NBN PIT
 - UNDER GROUND POWER
 - ELECTRICITY PILLAR
 - ELECTRICAL EASEMENT
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 - ASSET PROTECTION ZONE BDY
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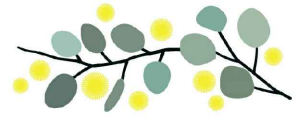
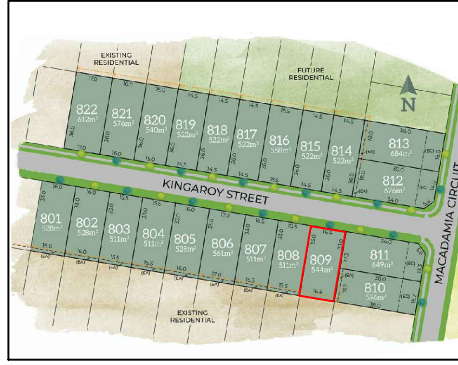
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LOT 809, KINGAROY STREET, MEDOWIE

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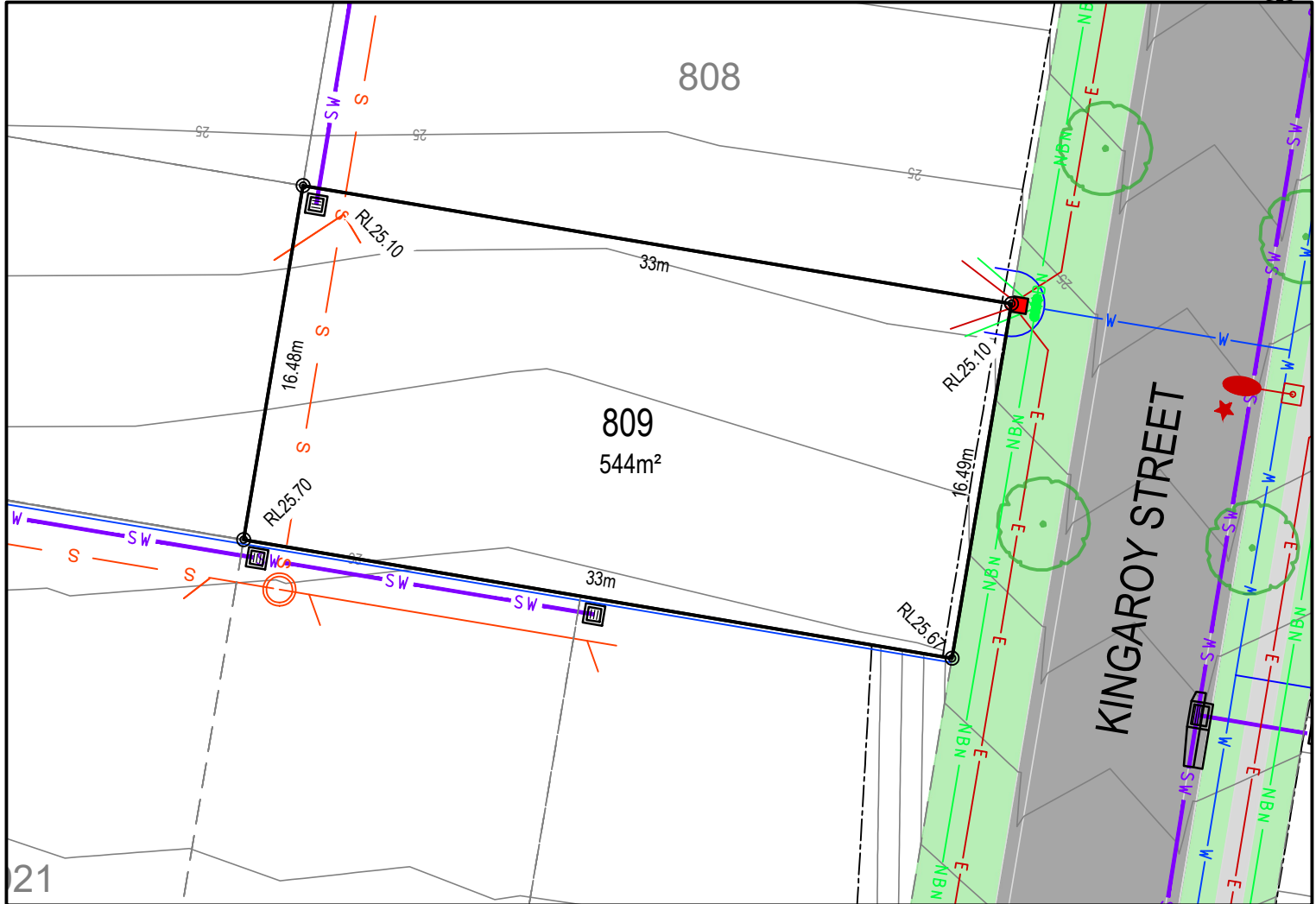


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - SW STORMWATER PIPE
 - S SEWERMAIN
 - S SEWER MAINTENANCE STRUCTURE
 - S SEWER JUNCTION
 - W WATERMAIN
 - O X HYDRANT, STOP VALVE
 - NBN TELSTRA / NBN
 - TELSTRA / NBN PIT
 - E UNDER GROUND POWER
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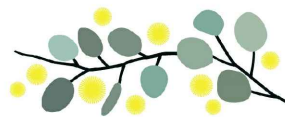
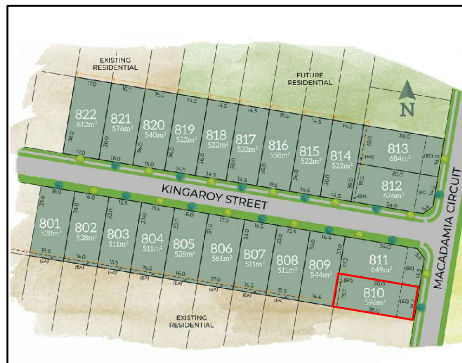


LOT 810, MACADAMIA CIRCUIT, MEDOWIE

MASTER PLAN



STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- BATTER INTERFACE
- RETAINING WALL
- STORMWATER PIT
- SW STORMWATER PIPE
- S SEWERMAIN
- S SEWER MAINTENANCE STRUCTURE
- S SEWER JUNCTION
- W WATERMAIN
- H HYDRANT, STOP VALVE
- NBN TELSTRA / NBN
- TELSTRA / NBN PIT
- E UNDER GROUND POWER
- E ELECTRICITY PILLAR
- E ELECTRICAL EASEMENT
- L LIGHT POLE
- R RESTRICTION ON THE USE OF LAND
- S STREET TREES
- ASSET PROTECTION ZONE BDY
- 0.25m CONTOURS

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- (EA) - EASEMENT TO DRAIN WATER 1.5 WIDE
- (EB) - RESTRICTION ON USE OF LAND 0.9 WIDE
- (EC) - RESTRICTION ON USE OF LAND 8.5 WIDE

REVISION/S: STAGE 8 MARKETING r1

DATE: 17 AUGUST 2021

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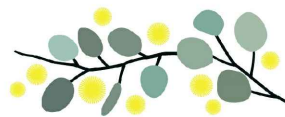
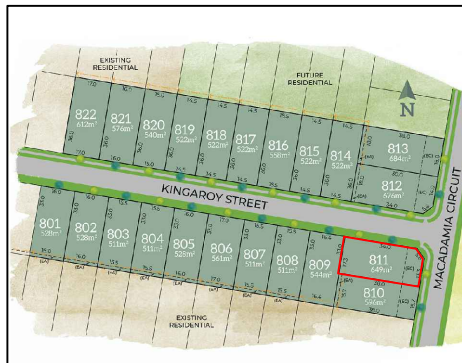
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PROJECT

LOT 811, MACADAMIA CIRCUIT, MEDOWIE

MASTER PLAN

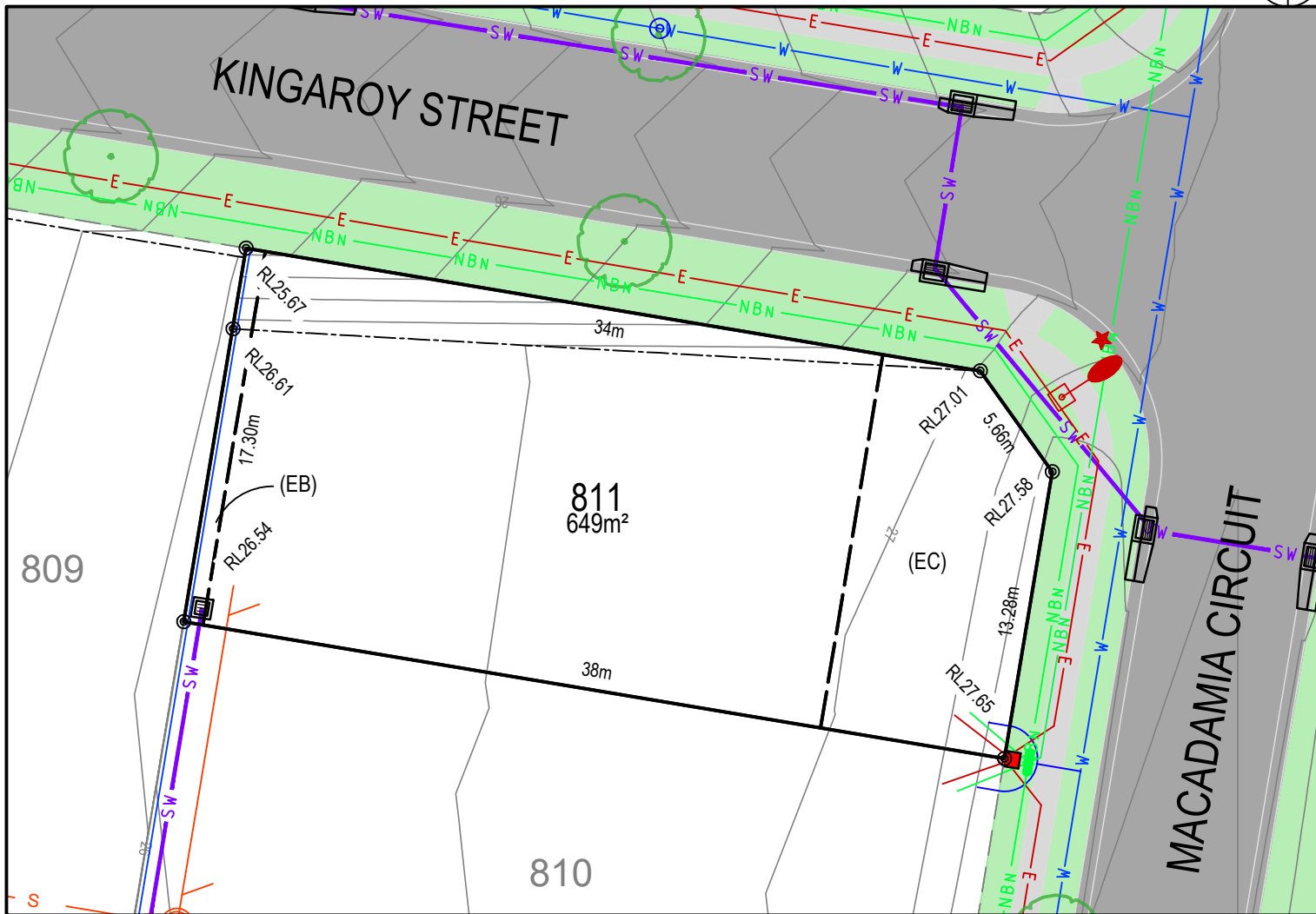


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - SW STORMWATER PIPE
 - S SEWERMAIN
 - S SEWER MAINTENANCE STRUCTURE
 - S SEWER JUNCTION
 - W WATERMAIN
 - O X HYDRANT, STOP VALVE
 - NBN TELSTRA / NBN
 - NBN TELSTRA / NBN PIT
 - E UNDER GROUND POWER
 - E ELECTRICITY PILLAR
 - E ELECTRICAL EASEMENT
 - E LIGHT POLE
 - RESTRICTION ON THE USE OF LAND
 - STREET TREES
 - ASSET PROTECTION ZONE BDY
 - 0.25m CONTOURS

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REVISION/S: STAGE 8 MARKETING r1

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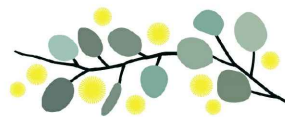
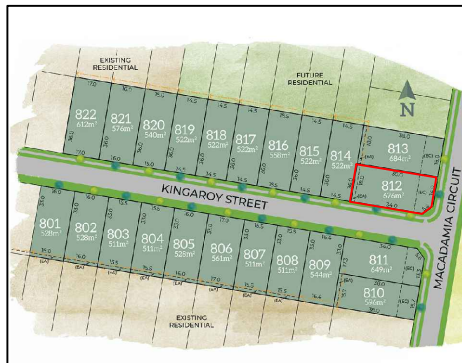
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PROJECT

LOT 812, MACADAMIA CIRCUIT, MEDOWIE

MASTER PLAN

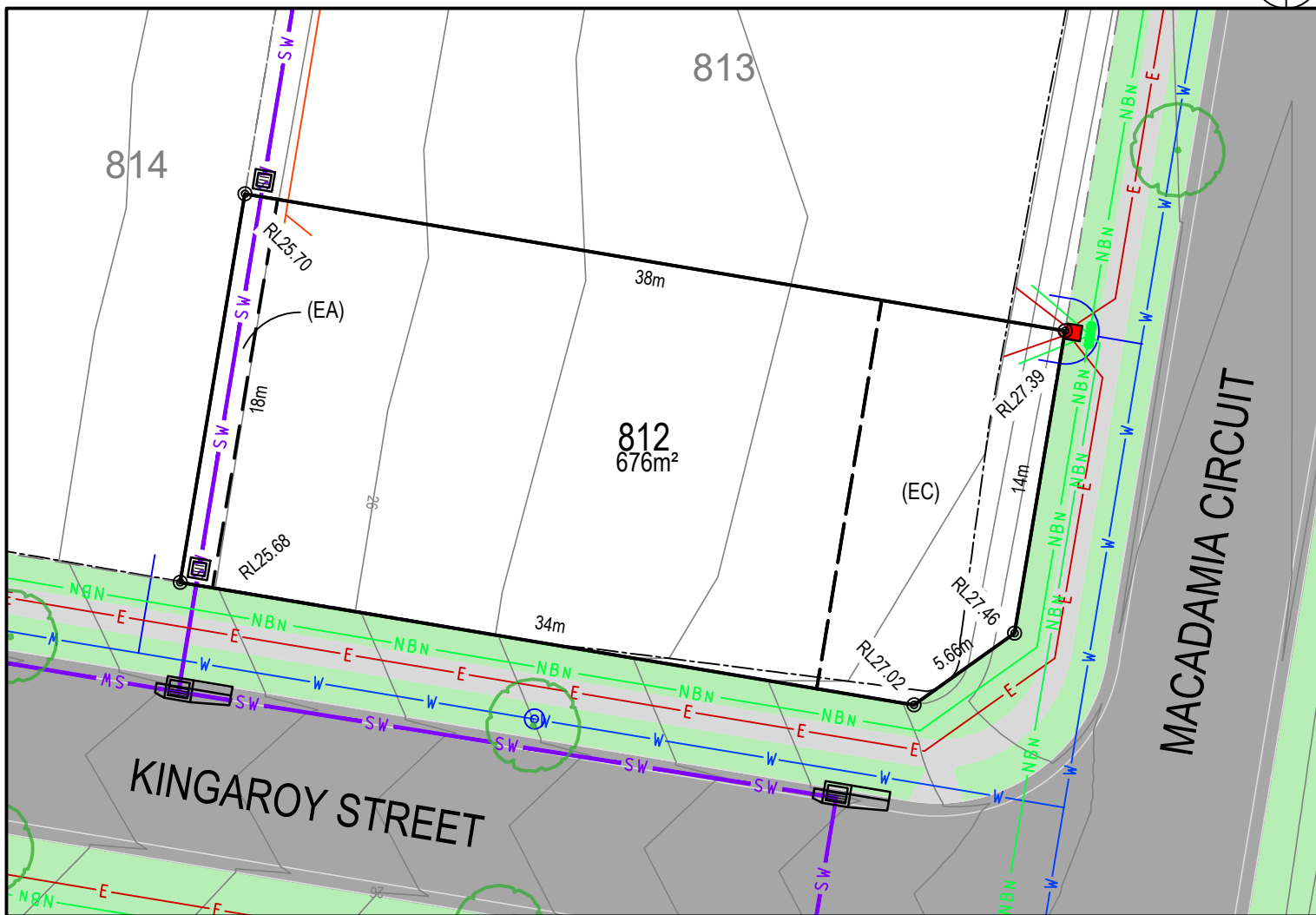


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- BATTER INTERFACE
- RETAINING WALL
- STORMWATER PIT
- SW STORMWATER PIPE
- S SEWERMAIN
- O SEWER MAINTENANCE STRUCTURE
- S SEWER JUNCTION
- W WATERMAIN
- O X HYDRANT, STOP VALVE
- NBN TELSTRA / NBN
- TELSTRA / NBN PIT
- E UNDER GROUND POWER
- ELECTRICITY PILLAR
- ELECTRICAL EASEMENT
- LIGHT POLE
- RESTRICTION ON THE USE OF LAND
- STREET TREES
- ASSET PROTECTION ZONE BDY
- 0.25m CONTOURS

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REVISION/S: STAGE 8 MARKETING r1

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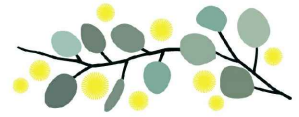
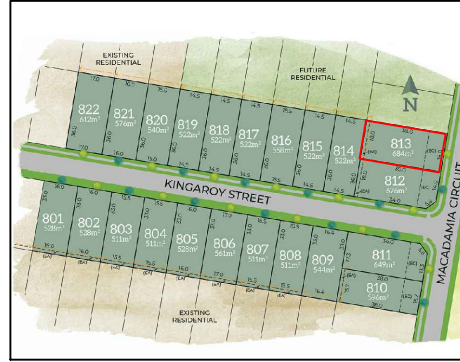
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PROJECT

LOT 813, MACADAMIA CIRCUIT, MEDOWIE

MASTER PLAN

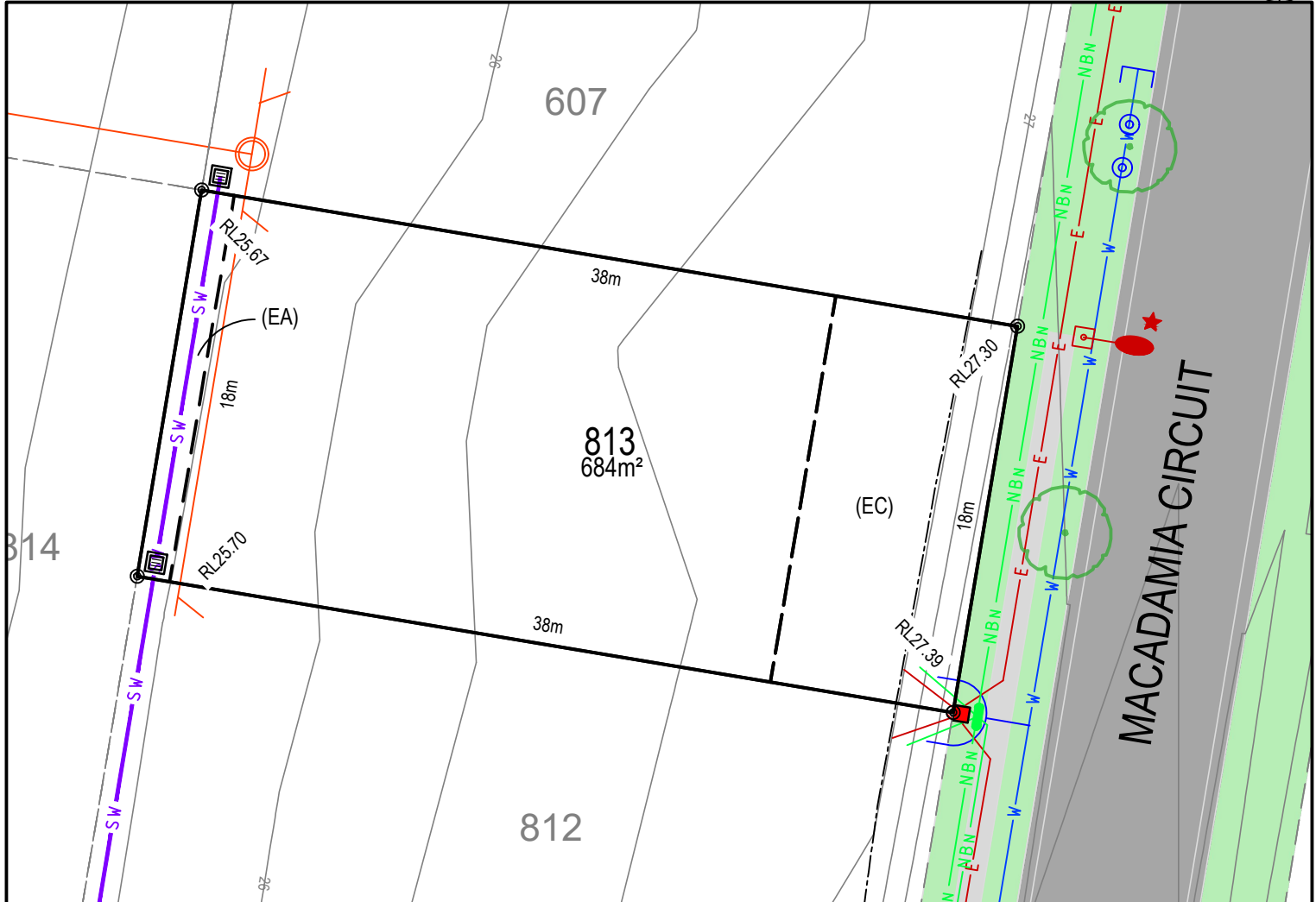


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- BATTER INTERFACE
- RETAINING WALL
- STORMWATER PIT
- SW --- STORMWATER PIPE
- S --- SEWERMAIN
- S --- SEWER MAINTENANCE STRUCTURE
- S --- SEWER JUNCTION
- W --- WATERMAIN
- W --- HYDRANT, STOP VALVE
- NBN --- TELSTRA / NBN
- NBN --- TELSTRA / NBN PIT
- E --- UNDER GROUND POWER
- E --- ELECTRICITY PILLAR
- E --- ELECTRICAL EASEMENT
- E --- LIGHT POLE
- R --- RESTRICTION ON THE USE OF LAND
- S --- STREET TREES
- ASSET PROTECTION ZONE BDY
- 0.25m CONTOURS

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REVISION/S: STAGE 8 MARKETING r1

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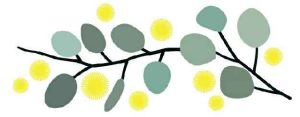
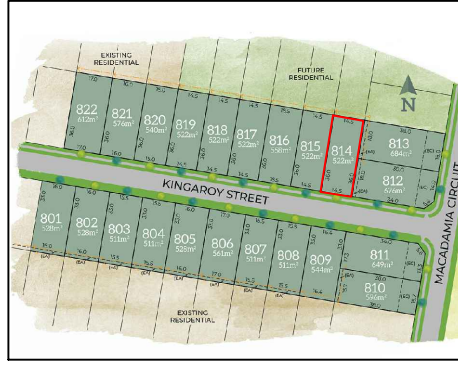
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PROJECT

LOT 814, KINGAROY STREET, MEDOWIE

MASTER PLAN

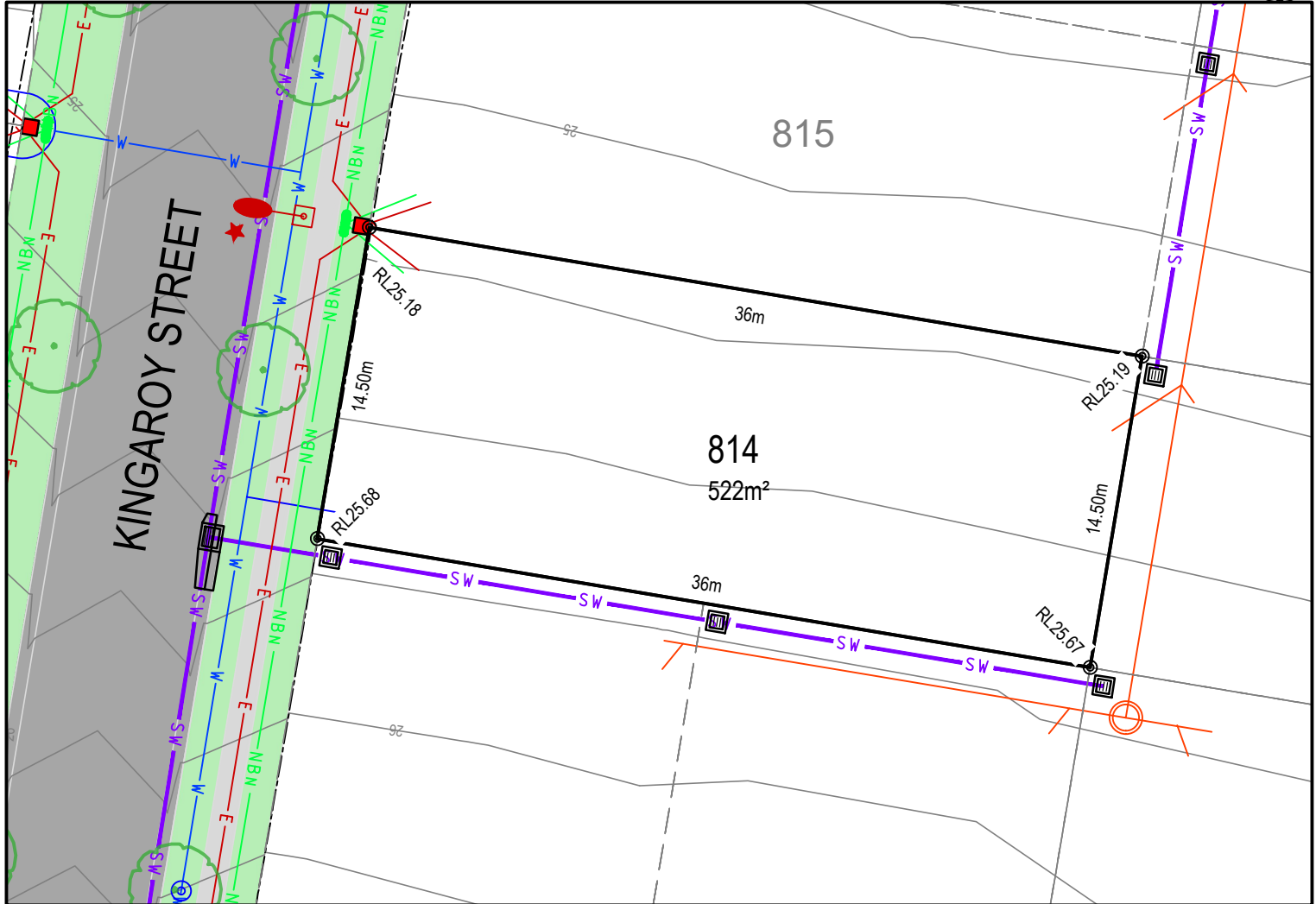


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - SW STORMWATER PIPE
 - S SEWERMAIN
 - S SEWER MAINTENANCE STRUCTURE
 - S SEWER JUNCTION
 - W WATERMAIN
 - O X HYDRANT, STOP VALVE
 - NBW TELSTRA / NBN
 - TELSTRA / NBN PIT
 - E UNDER GROUND POWER
 - E ELECTRICITY PILLAR
 - ELECTRICAL EASEMENT
 - LIGHT POLE
 - RESTRICTION ON THE USE OF LAND
 - STREET TREES
 - ASSET PROTECTION ZONE BDY
 - 0.25m CONTOURS

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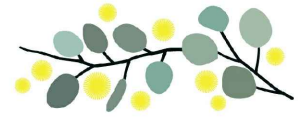
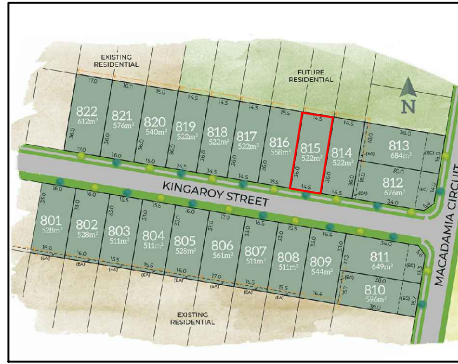
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LOT 815, KINGAROY STREET, MEDOWIE

MASTER PLAN

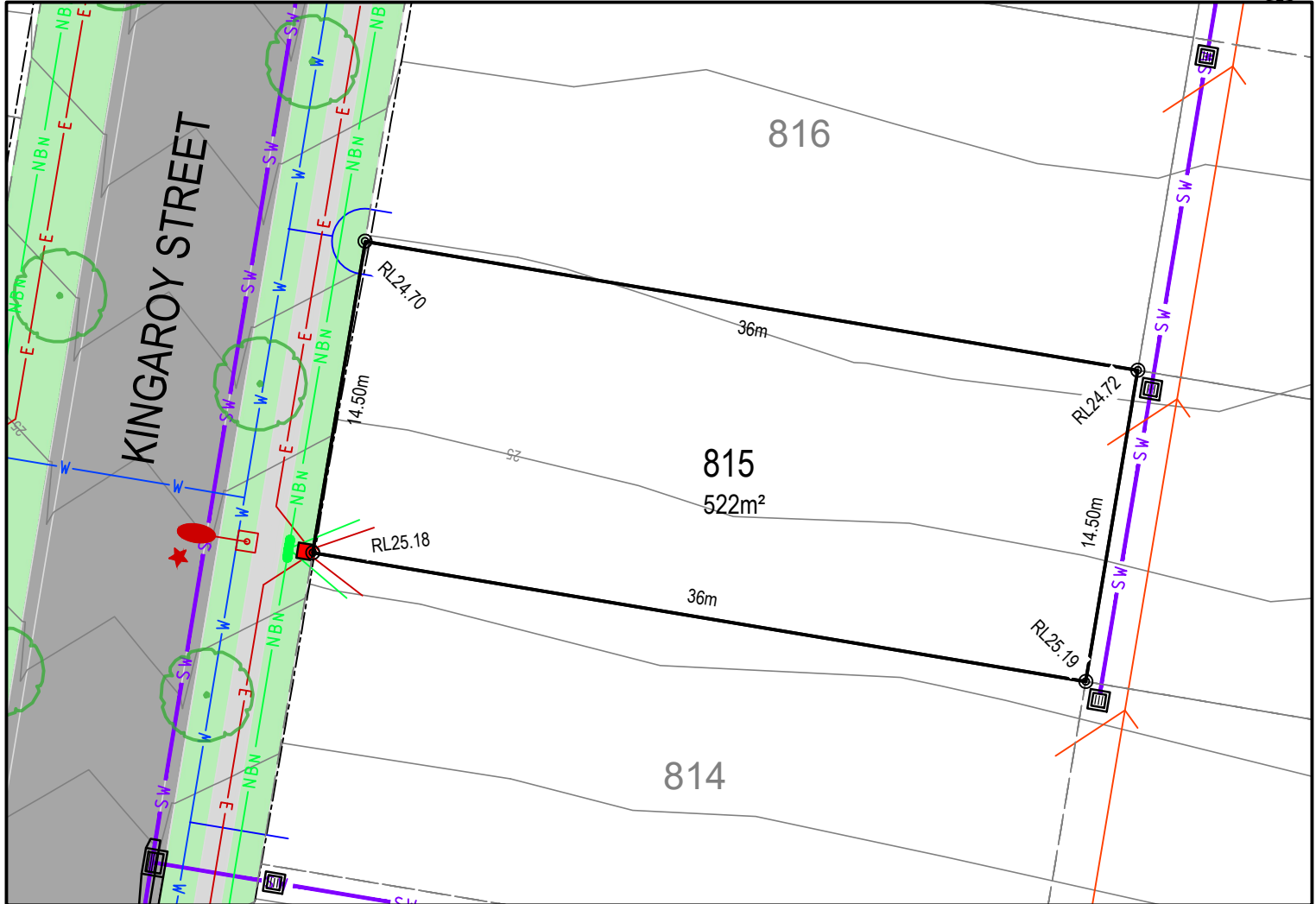


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- BATTER INTERFACE
- RETAINING WALL
- STORMWATER PIT
- SW STORMWATER PIPE
- S SEWERMAIN
- SEWER MAINTENANCE STRUCTURE
- SEWER JUNCTION
- W WATERMAIN
- HYDRANT, STOP VALVE
- NBN TELSTRA / NBN
- TELSTRA / NBN PIT
- E UNDER GROUND POWER
- ELECTRICITY PILLAR
- ELECTRICAL EASEMENT
- LIGHT POLE
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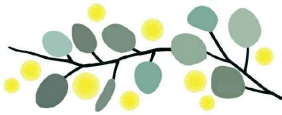
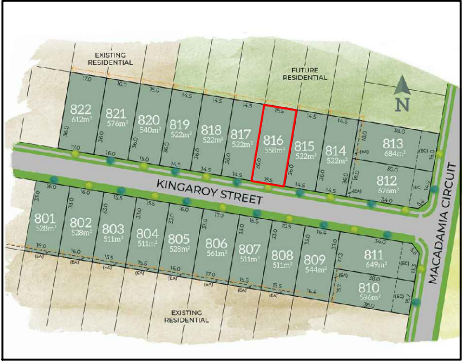
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LOT 816, KINGAROY STREET, MEDOWIE

MASTER PLAN

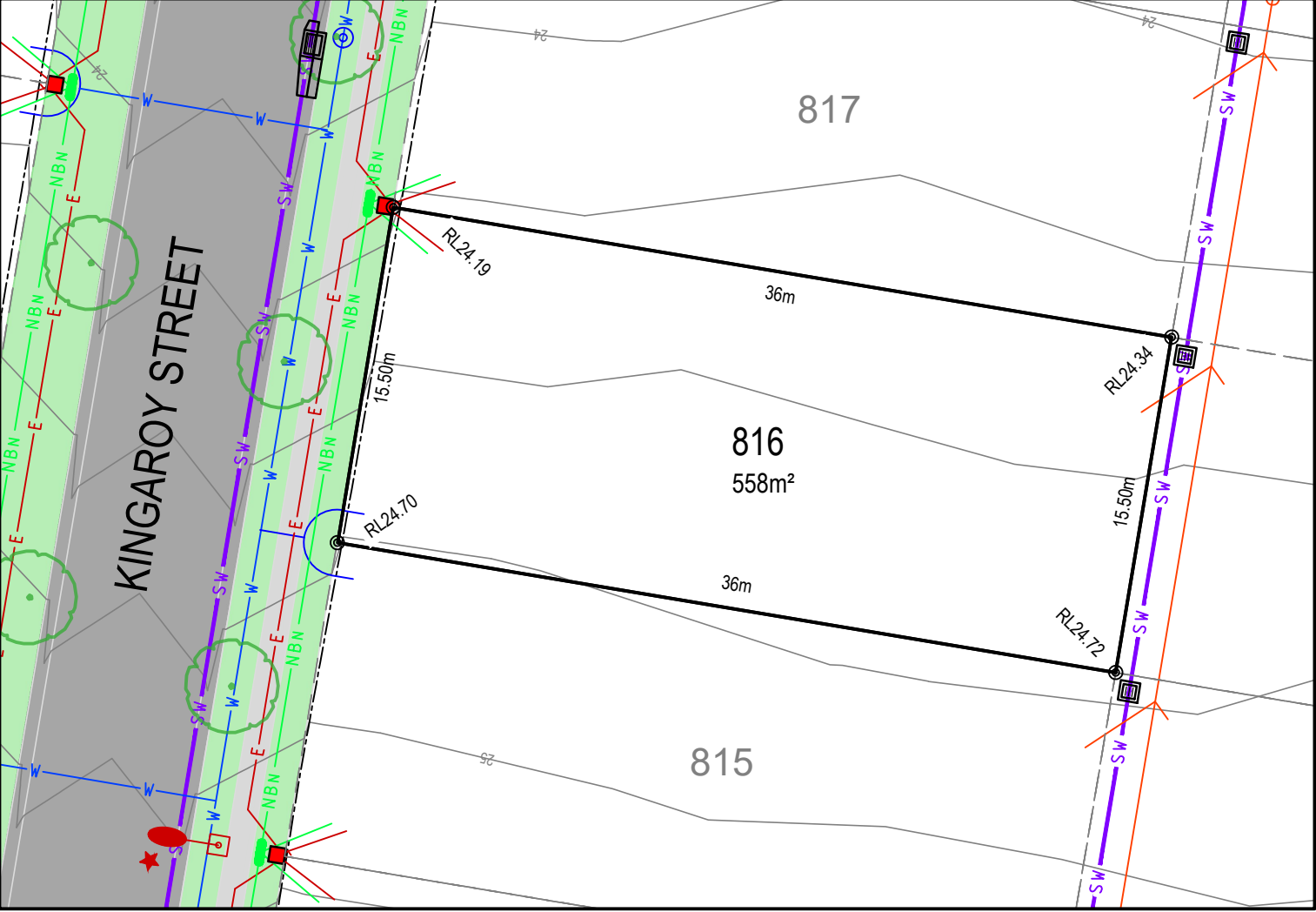


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - STORMWATER PIPE
 - SEWERMAIN
 - SEWER MAINTENANCE STRUCTURE
 - SEWER JUNCTION
 - WATERMAIN
 - HYDRANT, STOP VALVE
 - TELSTRA / NBN
 - TELSTRA / NBN PIT
 - UNDER GROUND POWER
 - ELECTRICITY PILLAR
 - ELECTRICAL EASEMENT
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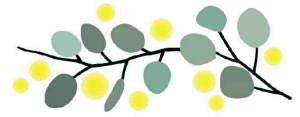
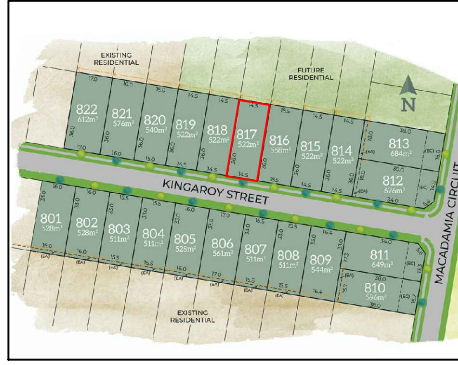
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DATE: 17 AUGUST 2021
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LOT 817, KINGAROY STREET, MEDOWIE

MASTER PLAN

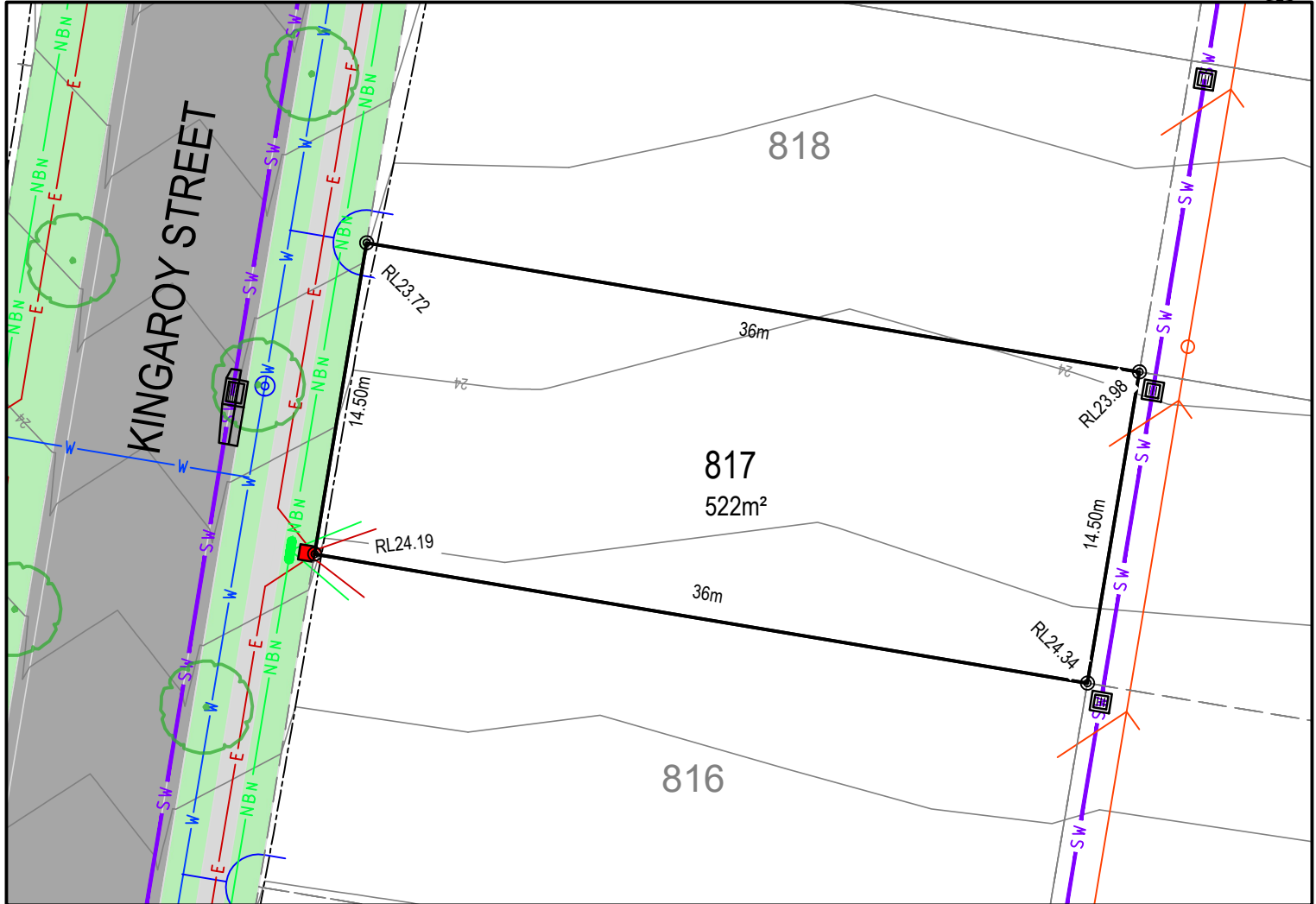


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- BATTER INTERFACE
- RETAINING WALL
- STORMWATER PIT
- SW STORMWATER PIPE
- S SEWERMAIN
- SEWER MAINTENANCE STRUCTURE
- SEWER JUNCTION
- WATERMAIN
- HYDRANT, STOP VALVE
- NBN TELSTRA / NBN
- TELSTRA / NBN PIT
- E UNDER GROUND POWER
- ELECTRICITY PILLAR
- ELECTRICAL EASEMENT
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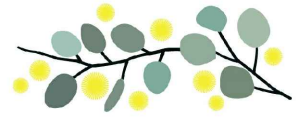
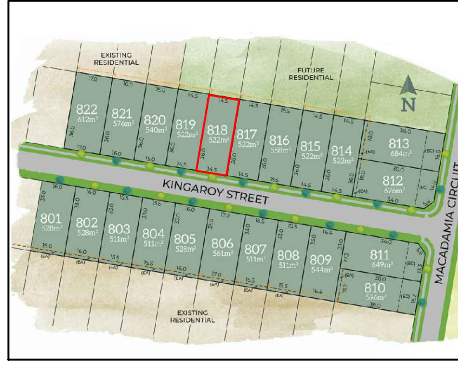
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LOT 818, KINGAROY STREET, MEDOWIE

MASTER PLAN

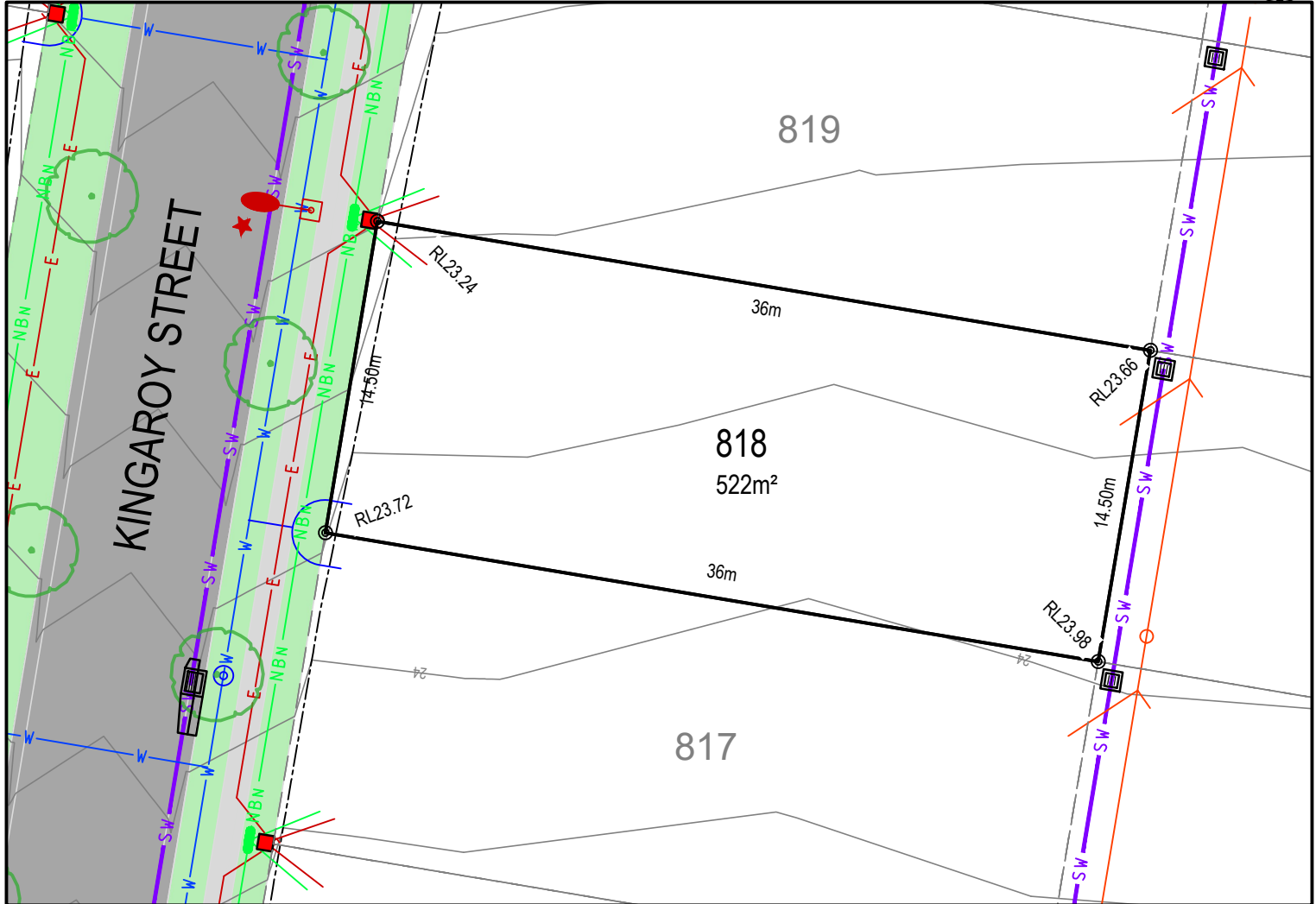


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - SW STORMWATER PIPE
 - S SEWERMAIN
 - S SEWER MAINTENANCE STRUCTURE
 - S SEWER JUNCTION
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 - TELSTRA / NBN PIT
 - E UNDER GROUND POWER
 - E ELECTRICITY PILLAR
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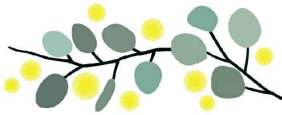
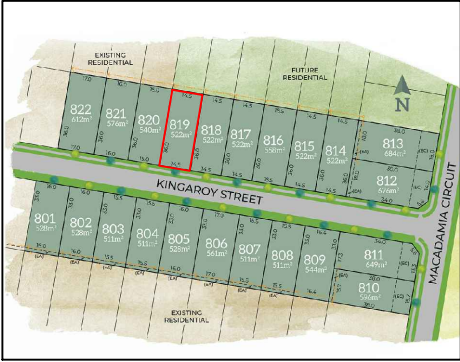
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PROJECT

LOT 819, KINGAROY STREET, MEDOWIE

MASTER PLAN

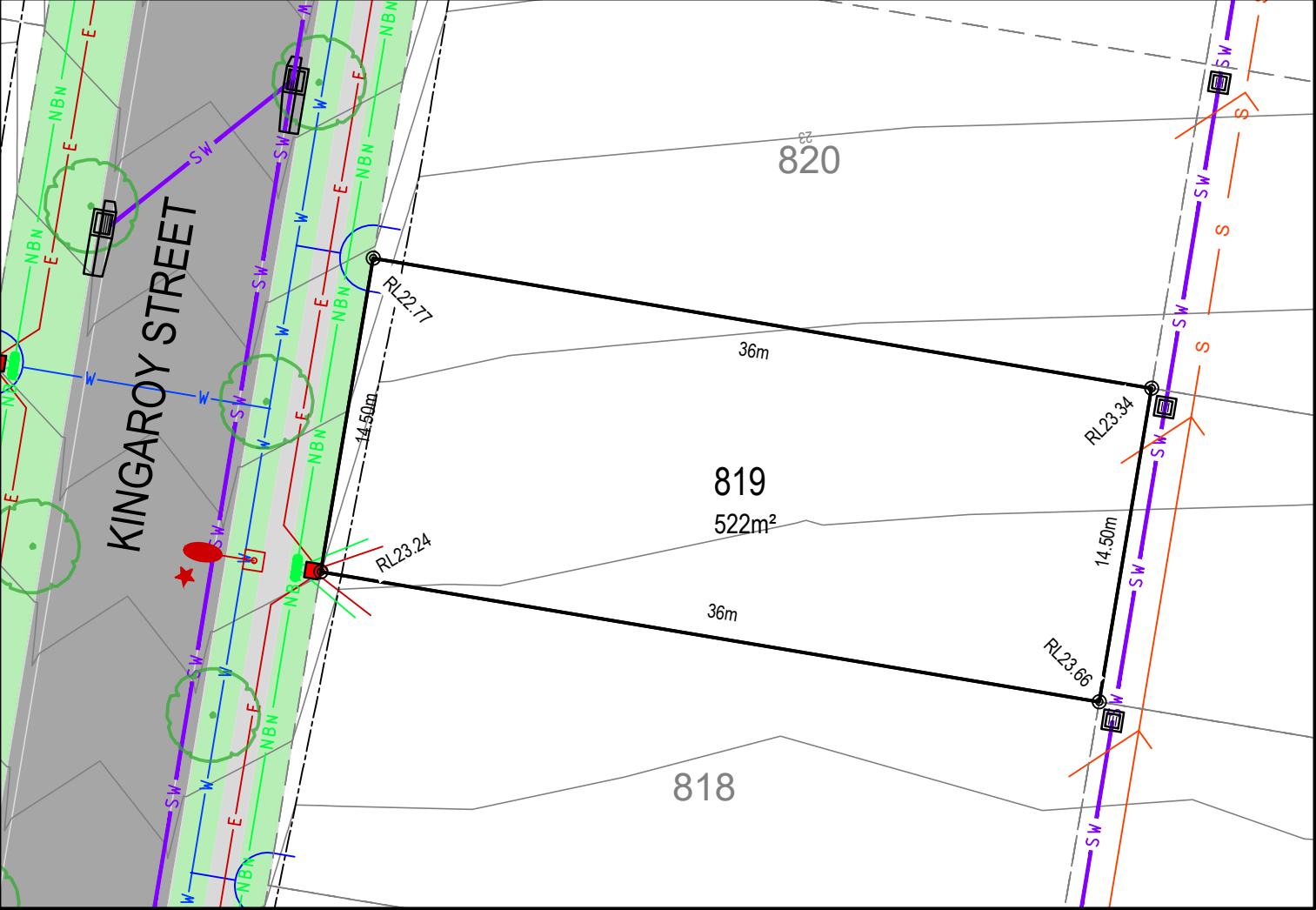


STAGE PLAN



THE GARDENS
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PRELIMINARY SITE ANALYSIS PLAN



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 - RETAINING WALL
 - STORMWATER PIT
 - STORMWATER PIPE
 - SEWERMAIN
 - SEWER MAINTENANCE STRUCTURE
 - SEWER JUNCTION
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 - TELSTRA / NBN
 - TELSTRA / NBN PIT
 - UNDER GROUND POWER
 - ELECTRICITY PILLAR
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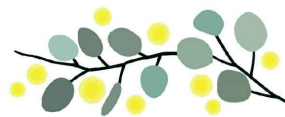
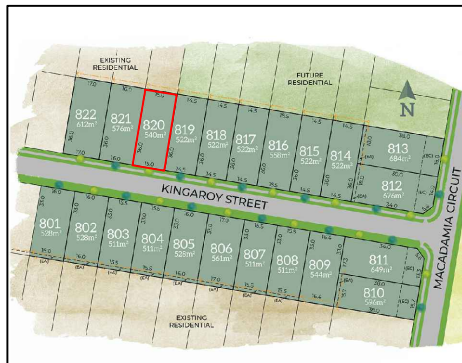
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DATE: 17 AUGUST 2021
BY: ACOR CONSULTANTS PTY LTD

LOT 820, KINGAROY STREET, MEDOWIE

MASTER PLAN

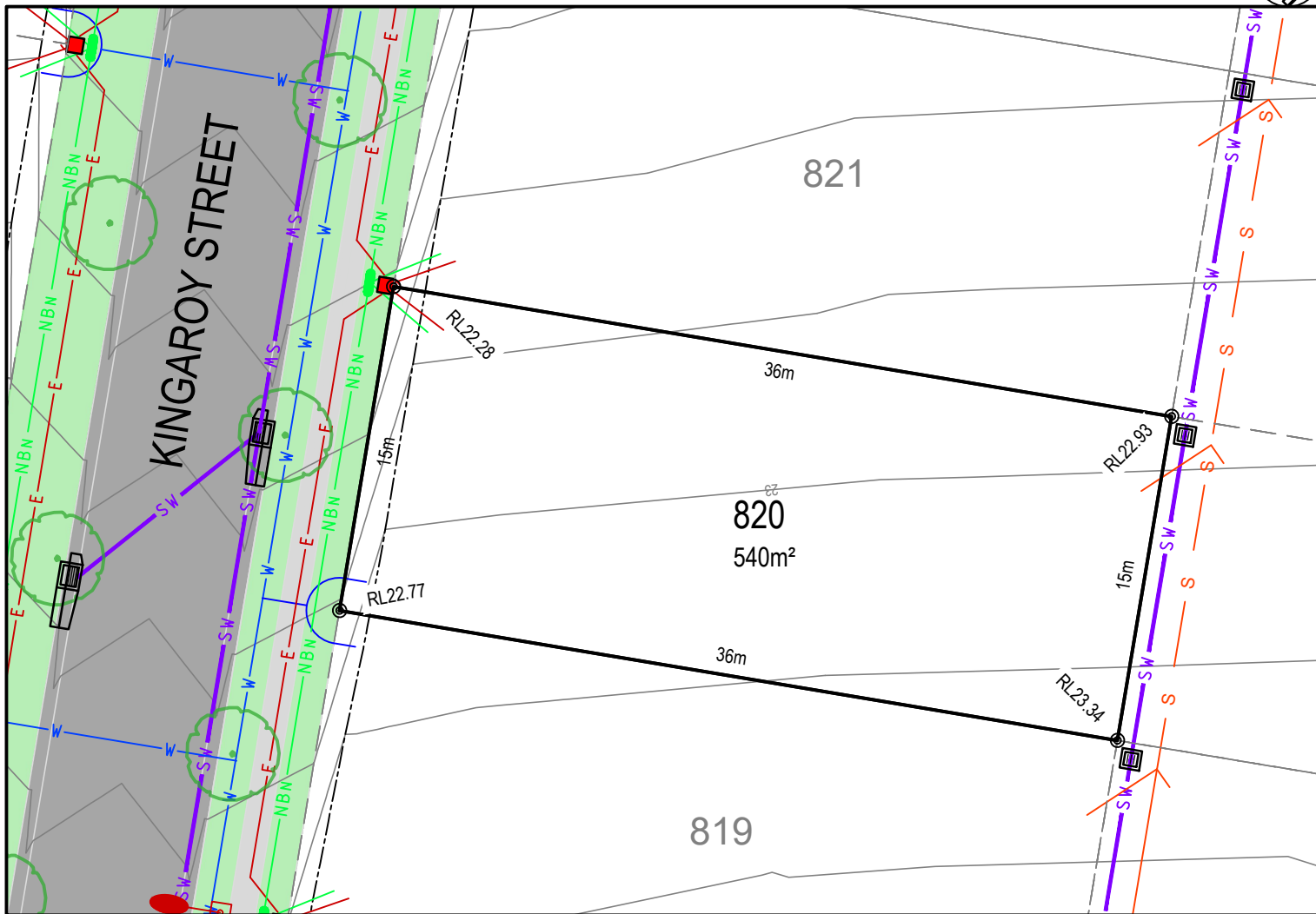


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



LEGEND:

- BATTER INTERFACE
- RETAINING WALL
- STORMWATER PIT
- SW STORMWATER PIPE
- S SEWERMAIN
- S SEWER MAINTENANCE STRUCTURE
- S SEWER JUNCTION
- W WATERMAIN
- O X HYDRANT, STOP VALVE
- NBN TELSTRA / NBN
- TELSTRA / NBN PIT
- E UNDER GROUND POWER
- E ELECTRICITY PILLAR
- E ELECTRICAL EASEMENT
- E LIGHT POLE
- RESTRICTION ON USE OF LAND
- STREET TREES
- ASSET PROTECTION ZONE BDY
- 0.25m CONTOURS

DISCLAIMER/ NOTES:

1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
2. Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and supply authority certification and therefore should not be considered as final or as-built.
3. Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information.
4. Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
5. This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in obtaining quotations/ tenders for dwelling construction.
6. This document does not form part of the contract of sale of the land.
7. Anticipated site classification is H2 or better (to be confirmed at completion of construction).

- (EA) - EASEMENT TO DRAIN WATER 1.5 WIDE
- (EB) - RESTRICTION ON USE OF LAND 0.9 WIDE
- (EC) - RESTRICTION ON USE OF LAND 8.5 WIDE

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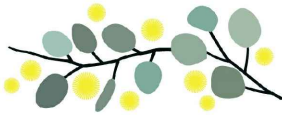
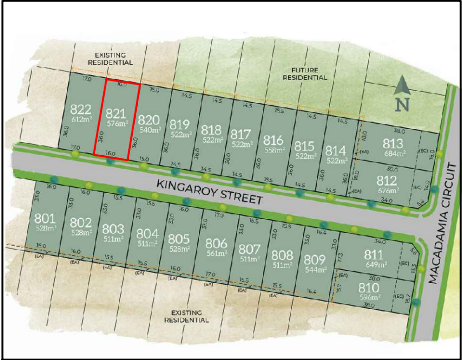
A QUALITY
MCCLOY
GROUP
PROJECT

LOT 821, KINGAROY STREET, MEDOWIE

MASTER PLAN

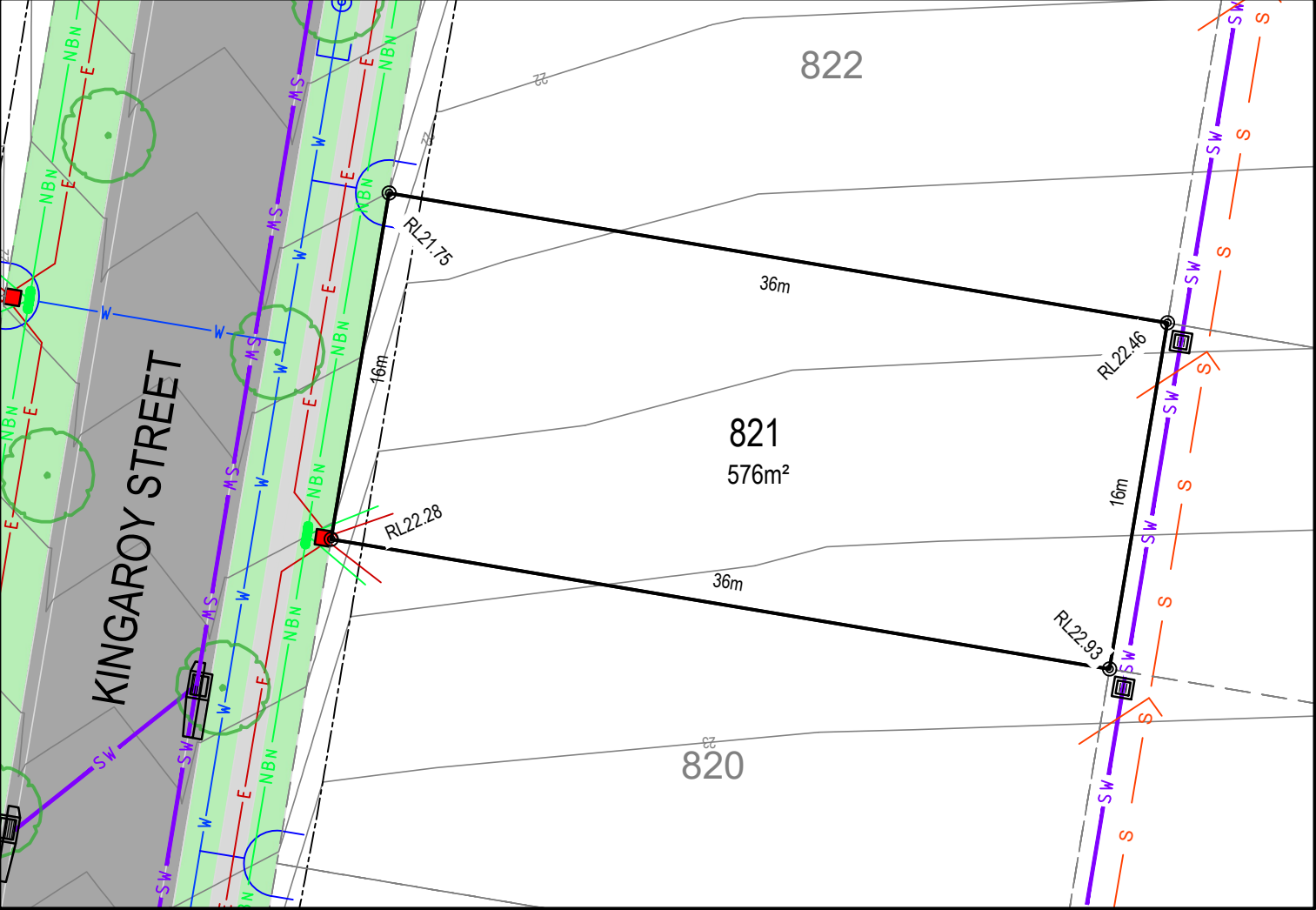


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - STORMWATER PIPE
 - SEWERMAIN
 - SEWER MAINTENANCE STRUCTURE
 - SEWER JUNCTION
 - WATERMAIN
 - HYDRANT, STOP VALVE
 - TELSTRA / NBN
 - TELSTRA / NBN PIT
 - UNDER GROUND POWER
 - ELECTRICITY PILLAR
 - ELECTRICAL EASEMENT
 - LIGHT POLE
 - RESTRICTION ON THE USE OF LAND
 - STREET TREES
 - ASSET PROTECTION ZONE BDY
 - 0.25m CONTOURS

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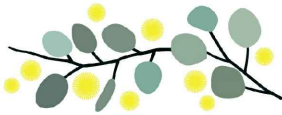
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LOT 822, KINGAROY STREET, MEDOWIE

MASTER PLAN

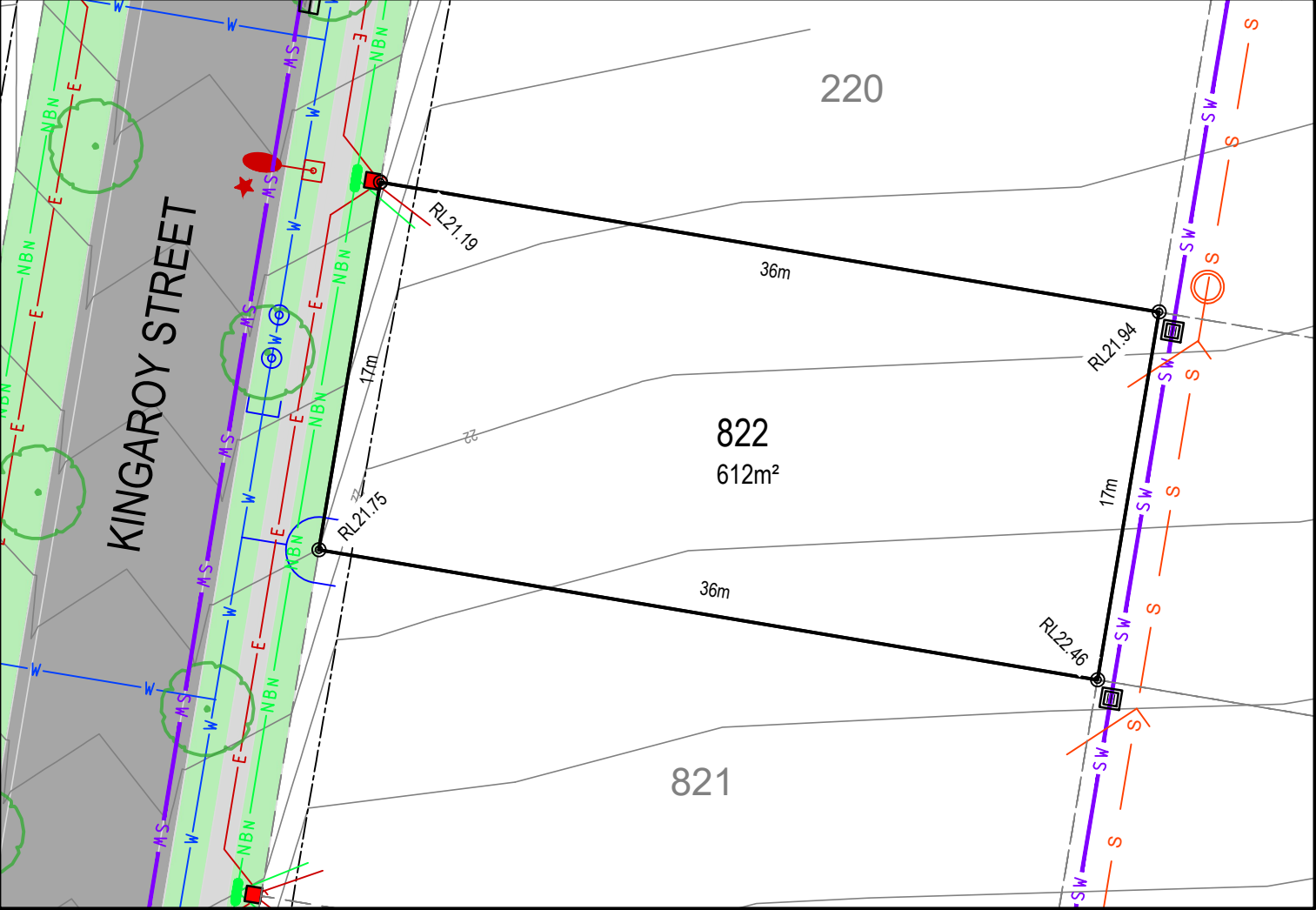


STAGE PLAN



THE GARDENS
MEDOWIE

PRELIMINARY SITE ANALYSIS PLAN



- LEGEND:**
- BATTER INTERFACE
 - RETAINING WALL
 - STORMWATER PIT
 - STORMWATER PIPE
 - SEWERMAIN
 - SEWER MAINTENANCE STRUCTURE
 - SEWER JUNCTION
 - WATERMAIN
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 - TELSTRA / NBN
 - TELSTRA / NBN PIT
 - UNDER GROUND POWER
 - ELECTRICITY PILLAR
 - ELECTRICAL EASEMENT
 - LIGHT POLE
 - RESTRICTION ON THE USE OF LAND
 - STREET TREES
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