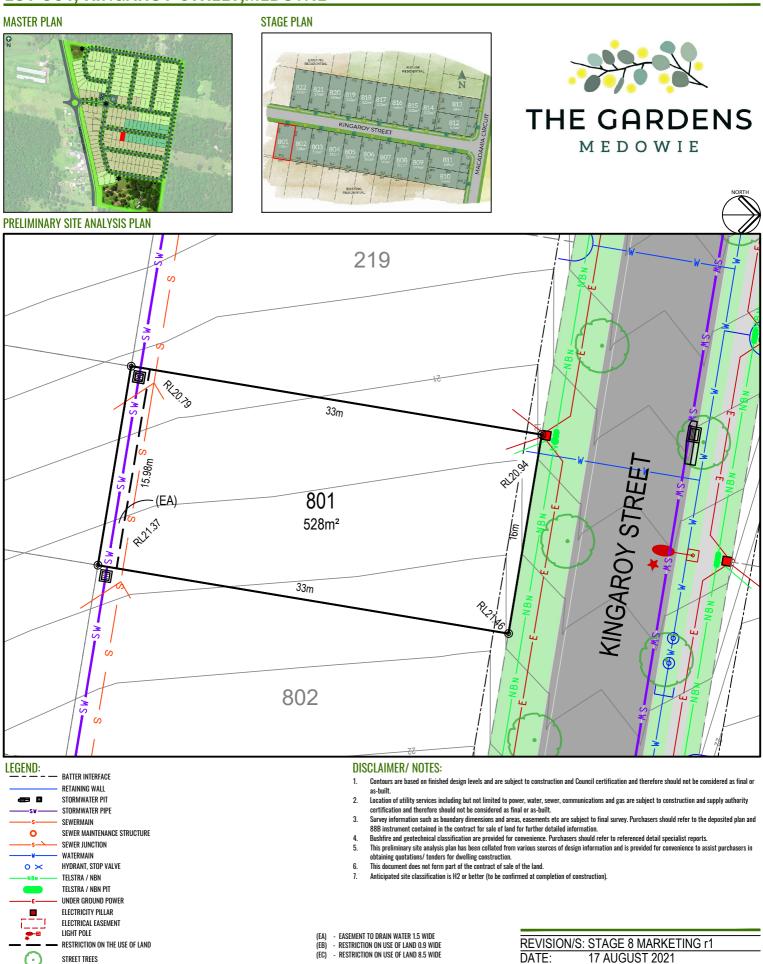
LOT 801, KINGAROY STREET, MEDOWIE



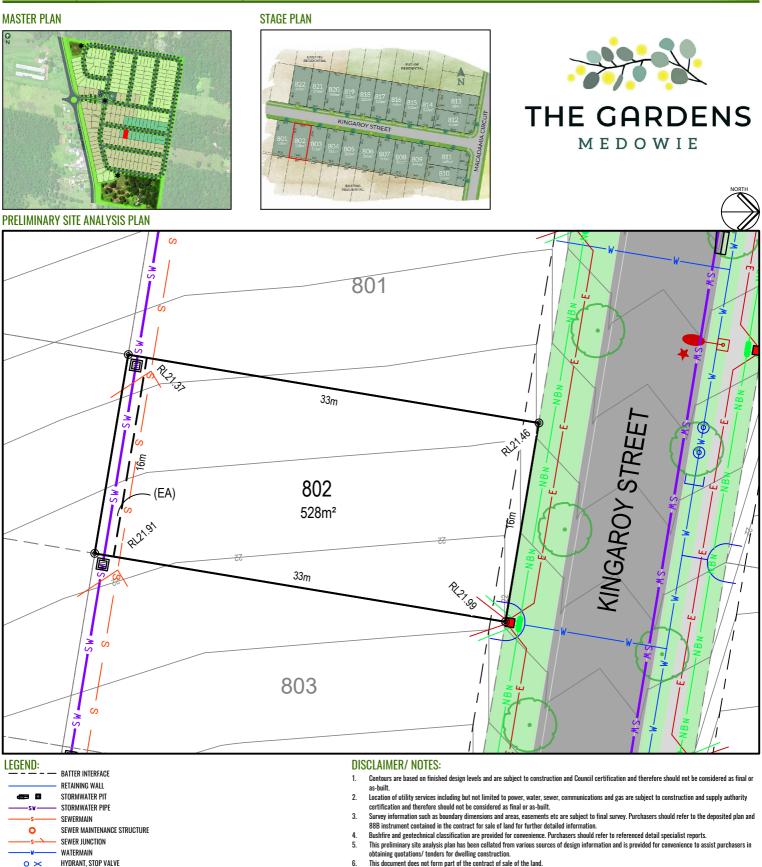
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ASSET PROTECTION ZONE BDY 0.25m CONTOURS

ACOR CONSULTANTS PTY LTD

BY:

LOT 802, KINGAROY STREET, MEDOWIE



- 7.
- Anticipated site classification is H2 or better (to be confirmed at completion of construction)

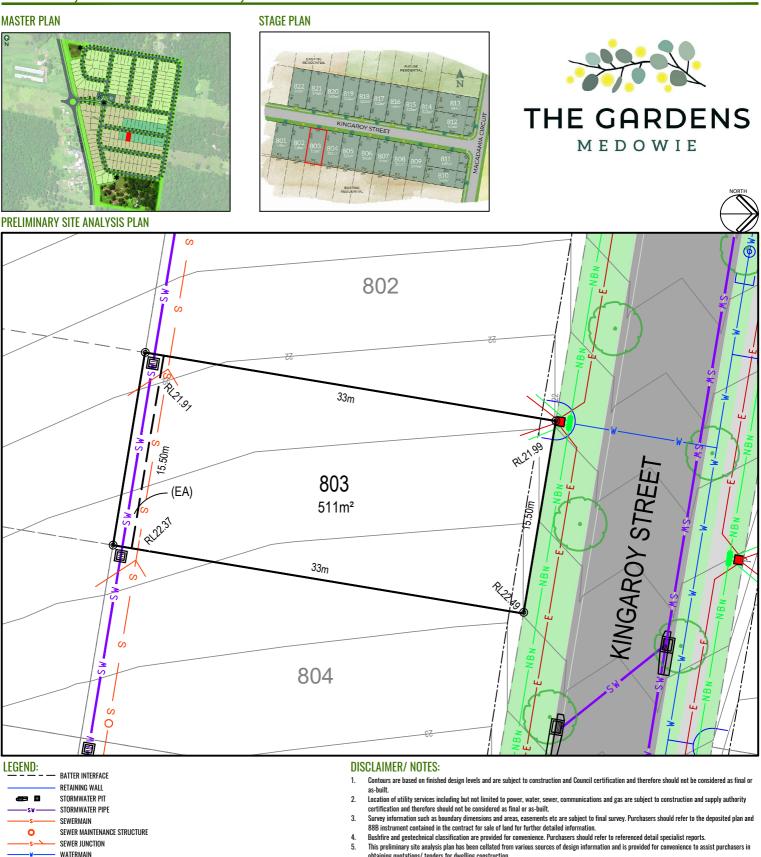
HYDRANT, STOP VALVE 0 × TELSTRA / NBN TELSTRA / NBN PIT UNDER GROUND POWER FI FCTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE RESTRICTION ON THE USE OF LAND \mathbf{f} STREET TREES ASSET PROTECTION ZONE BDY

0.25m CONTOURS

- EASEMENT TO DRAIN WATER 1.5 WIDE Restriction on use of land 0.9 wide (EA) (EB) (EC) **RESTRICTION ON USE OF LAND 8.5 WIDE**
- **REVISION/S: STAGE 8 MARKETING r1** DATE: 17 AUGUST 2021 BY: ACOR CONSULTANTS PTY LTD



LOT 803, KINGAROY STREET, MEDOWIE



- obtaining quotations/ tenders for dwelling construction. This document does not form part of the contract of sale of the land.
- 6.
- 7. Anticipated site classification is H2 or better (to be confirmed at completion of construction)

- EASEMENT TO DRAIN WATER 1.5 WIDE - Restriction on use of land 0.9 wide (EA)

(EB) (EC) **RESTRICTION ON USE OF LAND 8.5 WIDE**

REVISION/S: STAGE 8 MARKETING r1 DATE: 17 AUGUST 2021 BY: ACOR CONSULTANTS PTY LTD



HYDRANT, STOP VALVE

RESTRICTION ON THE USE OF LAND

ASSET PROTECTION ZONE BDY 0.25m CONTOURS

TELSTRA / NBN TELSTRA / NBN PIT UNDER GROUND POWER ELECTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE

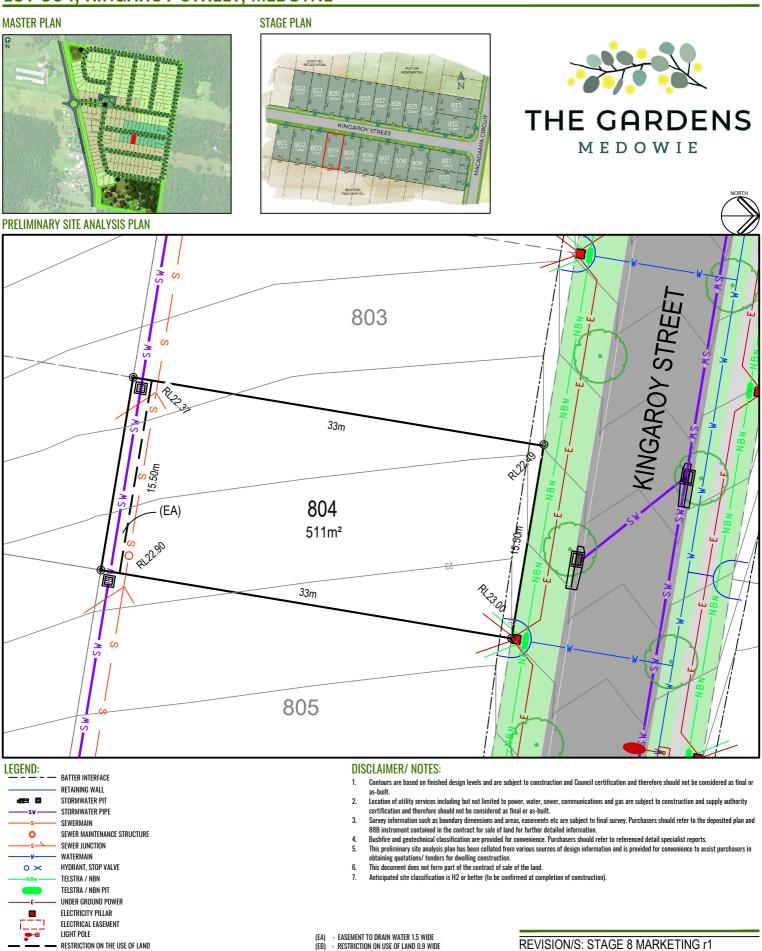
STREET TREES

0 ×

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LOT 804, KINGAROY STREET, MEDOWIE



- (EC) **RESTRICTION ON USE OF LAND 8.5 WIDE**

DATE: 17 AUGUST 2021 BY: ACOR CONSULTANTS PTY LTD



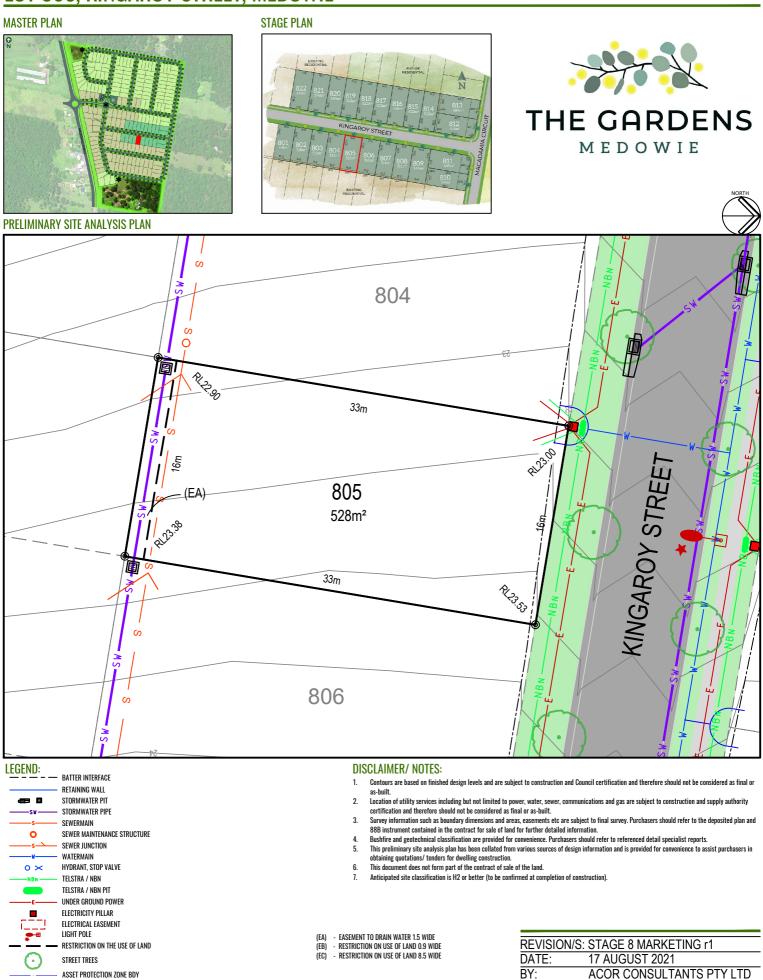
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STREET TREES

ASSET PROTECTION ZONE BDY 0.25m CONTOURS

LOT 805, KINGAROY STREET, MEDOWIE

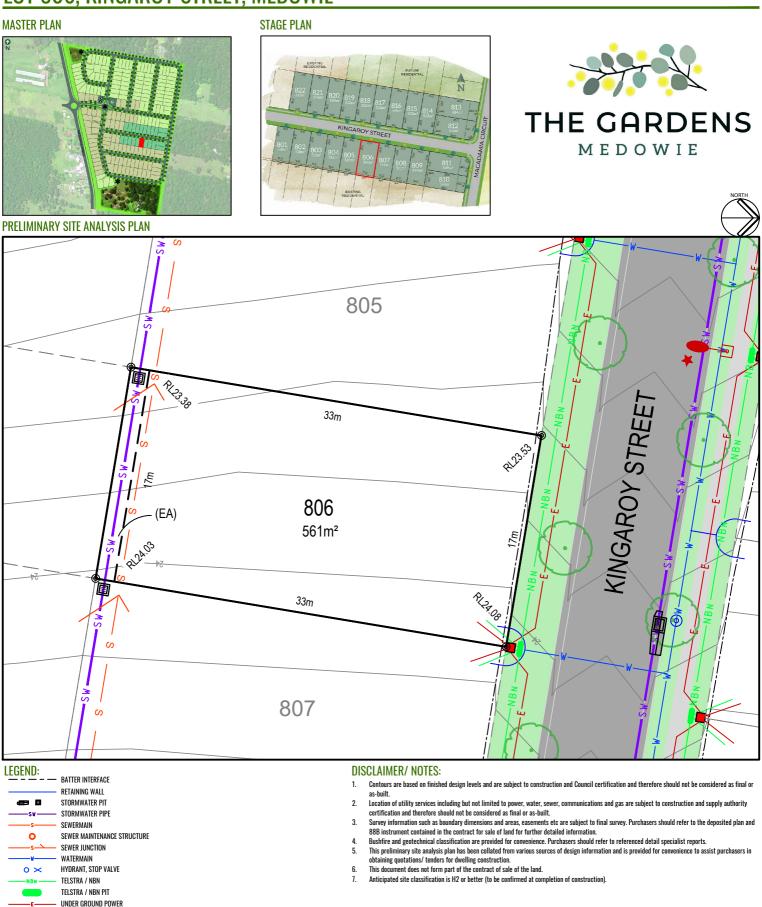


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0.25m CONTOURS

MCCLOVGROUP

LOT 806, KINGAROY STREET, MEDOWIE



(EA) - EASEMENT TO DRAIN WATER 1.5 WIDE (EB) - RESTRICTION ON USE OF LAND 0.9 WIDE

(EC) - RESTRICTION ON USE OF LAND 8.5 WIDE

REVISION/S: STAGE 8 MARKETING r1 DATE: 17 AUGUST 2021 BY: ACOR CONSULTANTS PTY LTD



ELECTRICITY PILLAR Electrical easement Light Pole

STREET TREES

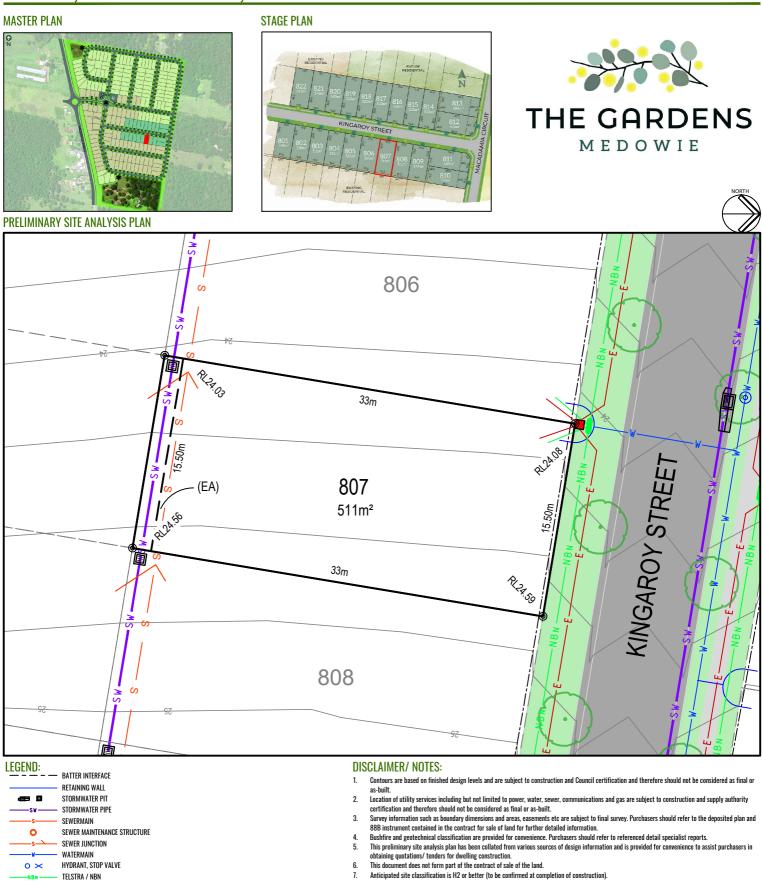
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RESTRICTION ON THE USE OF LAND

ASSET PROTECTION ZONE BDY 0.25m CONTOURS

MCCLOVGROUP

LOT 807, KINGAROY STREET, MEDOWIE



(EA) - EASEMENT TO DRAIN WATER 1.5 WIDE (EB) - RESTRICTION ON USE OF LAND 0.9 WIDE

(EC) - RESTRICTION ON USE OF LAND 8.5 WIDE

REVISION/S: STAGE 8 MARKETING r1 DATE: 17 AUGUST 2021 BY: ACOR CONSULTANTS PTY LTD

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TELSTRA / NBN PIT UNDER GROUND POWER ELECTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE

STREET TREES

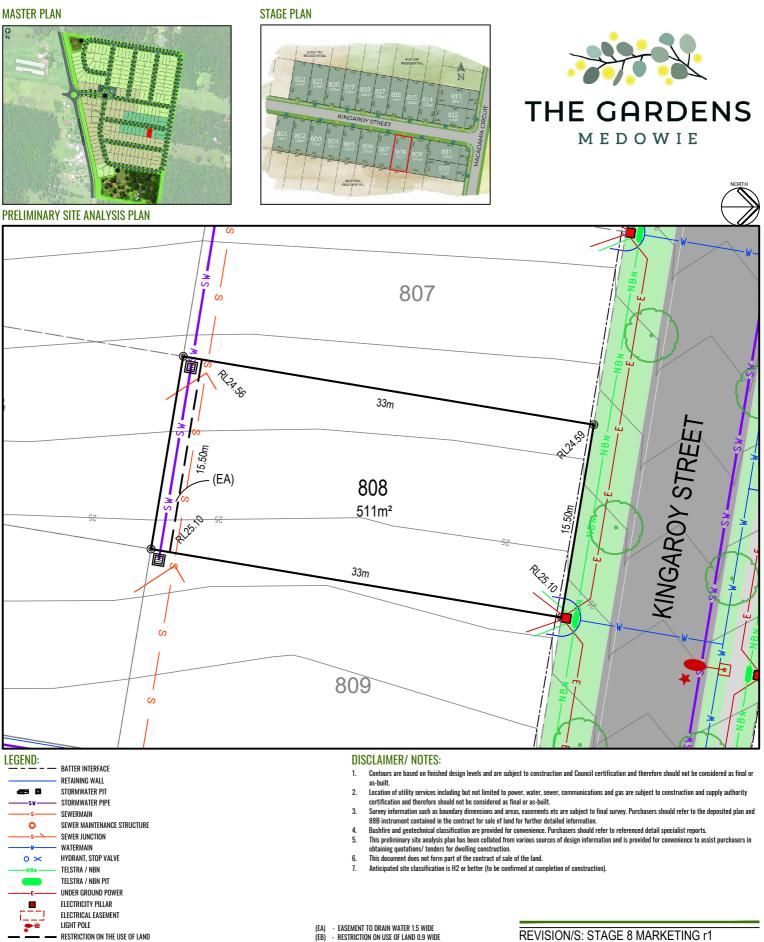
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RESTRICTION ON THE USE OF LAND

ASSET PROTECTION ZONE BDY 0.25m CONTOURS



LOT 808, THE GARDENS, MEDOWIE



thegardensmedowie.com.au

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STREET TREES

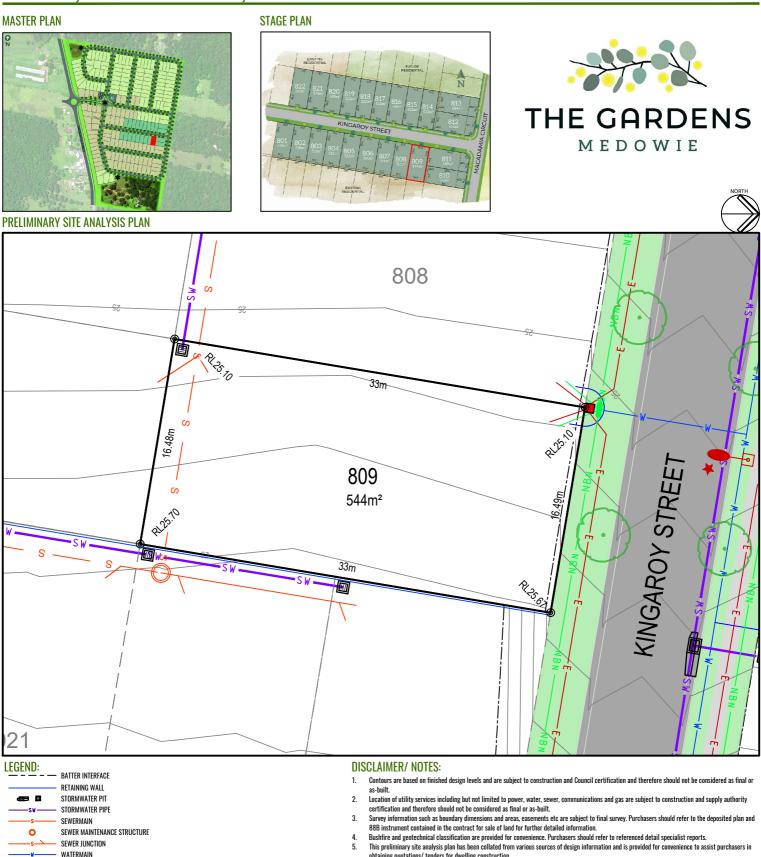
ASSET PROTECTION ZONE BDY 0.25m CONTOURS (EC)

RESTRICTION ON USE OF LAND 8.5 WIDE

REVISION/S: STAGE 8 MARKETING r1 DATE: 17 AUGUST 2021 BY: ACOR CONSULTANTS PTY LTD



LOT 809, KINGAROY STREET, MEDOWIE



obtaining quotations/ tenders for dwelling construction. This document does not form part of the contract of sale of the land.

6. Anticipated site classification is H2 or better (to be confirmed at completion of construction)

- EASEMENT TO DRAIN WATER 1.5 WIDE - Restriction on use of land 0.9 wide (EA) (EB) (EC) **RESTRICTION ON USE OF LAND 8.5 WIDE**

7.

REVISION/S: STAGE 8 MARKETING r1 DATE: 17 AUGUST 2021 BY: ACOR CONSULTANTS PTY LTD



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HYDRANT, STOP VALVE

RESTRICTION ON THE USE OF LAND

ASSET PROTECTION ZONE BDY 0.25m CONTOURS

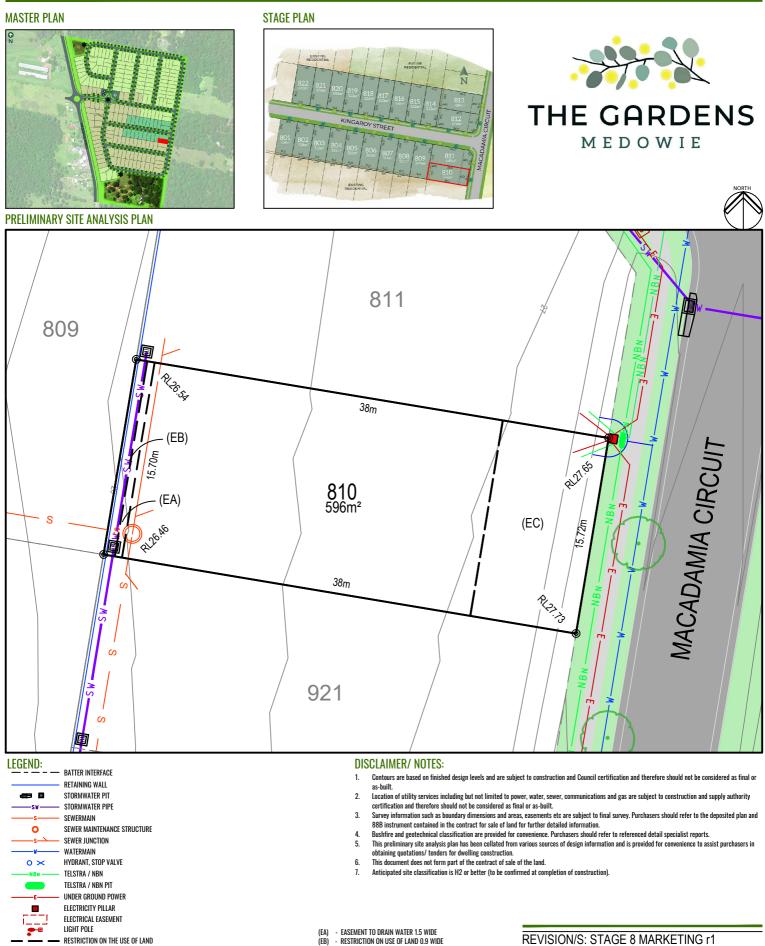
TELSTRA / NBN TELSTRA / NBN PIT UNDER GROUND POWER FI FCTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE

STREET TREES

0 ×

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LOT 810, MACADAMIA CIRCUIT, MEDOWIE



- (EB)
- (EC) **RESTRICTION ON USE OF LAND 8.5 WIDE**

REVISION/S: STAGE 8 MARKETING r1 DATE: 17 AUGUST 2021 BY: ACOR CONSULTANTS PTY LTD



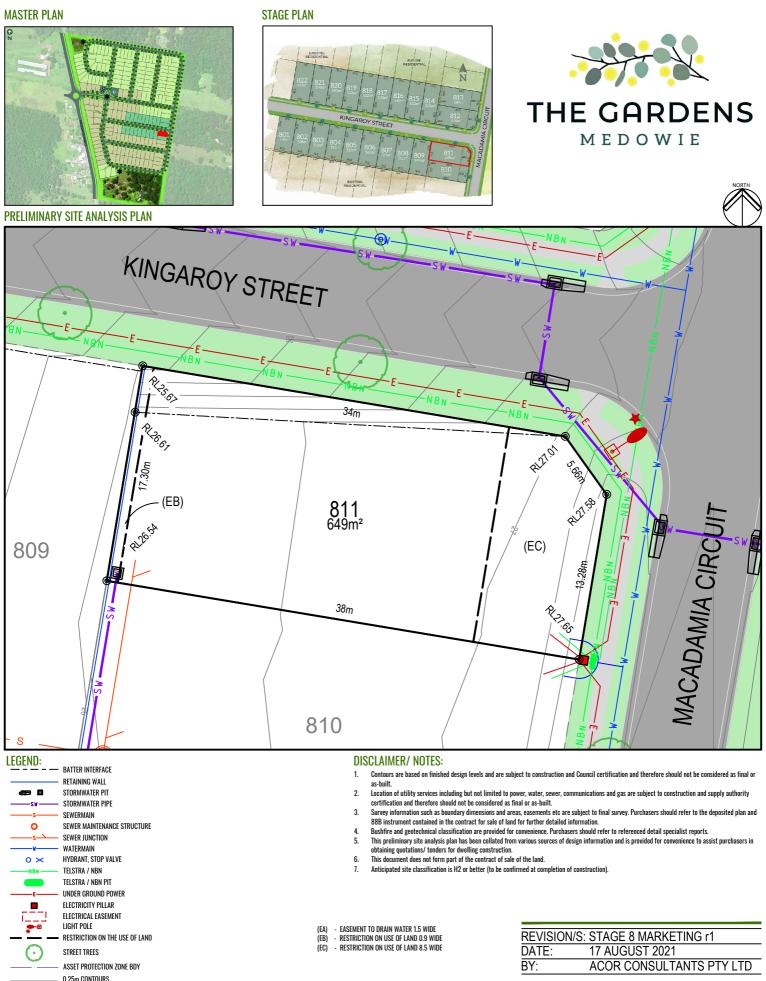
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STREET TREES

ASSET PROTECTION ZONE BDY 0.25m CONTOURS

LOT 811, MACADAMIA CIRCUIT, MEDOWIE



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MCCLOVGROUP

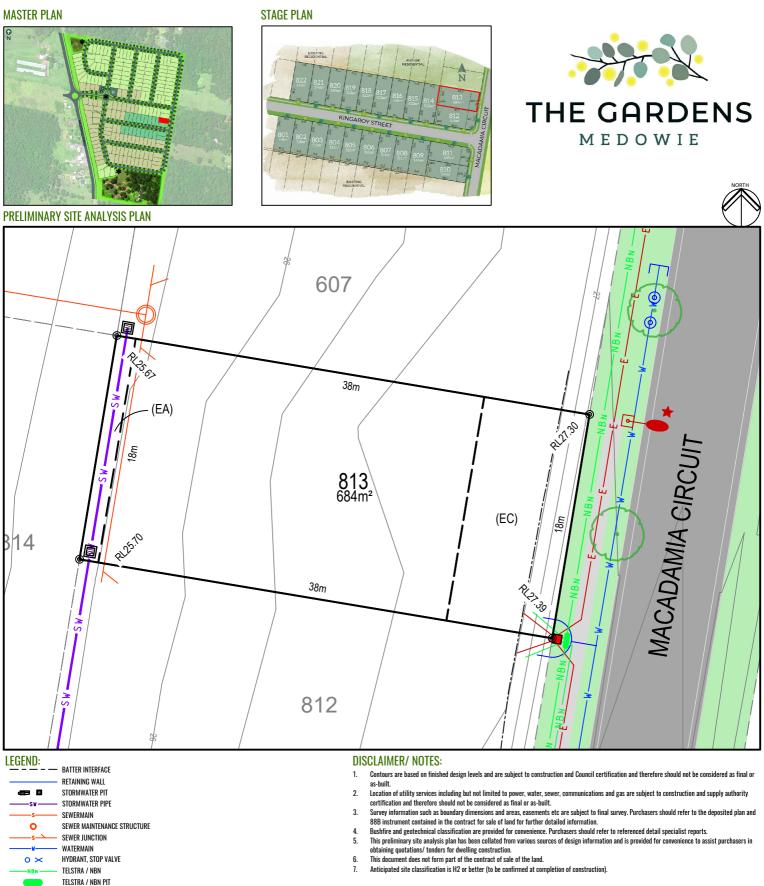
LOT 812, MACADAMIA CIRCUIT, MEDOWIE



- 3 Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers should refer to the deposited plan and
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
- This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in

SEWERMAIN 88B instrument contained in the contract for sale of land for further detailed information. SEWER MAINTENANCE STRUCTURE 0 SEWER JUNCTION 5. WATERMAIN obtaining quotations/ tenders for dwelling construction. This document does not form part of the contract of sale of the land. HYDRANT, STOP VALVE 0 × 6. 7. Anticipated site classification is H2 or better (to be confirmed at completion of construction) TELSTRA / NBN TELSTRA / NBN PIT UNDER GROUND POWER FI FCTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE - EASEMENT TO DRAIN WATER 1.5 WIDE - Restriction on use of land 0.9 wide (EA) **REVISION/S: STAGE 8 MARKETING r1** RESTRICTION ON THE USE OF LAND (EB) (EC) **RESTRICTION ON USE OF LAND 8.5 WIDE** DATE: 17 AUGUST 2021 \mathbf{f} STREET TREES BY: ACOR CONSULTANTS PTY LTD ASSET PROTECTION ZONE BDY 0 25m CONTOURS

LOT 813, MACADAMIA CIRCUIT, MEDOWIE



⁻ EASEMENT TO DRAIN WATER 1.5 WIDE - Restriction on use of land 0.9 wide (EA)

- (EB) (EC) **RESTRICTION ON USE OF LAND 8.5 WIDE**

REVISION/S: STAGE 8 MARKETING r1 DATE: 17 AUGUST 2021 BY: ACOR CONSULTANTS PTY LTD



UNDER GROUND POWER FI FCTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE

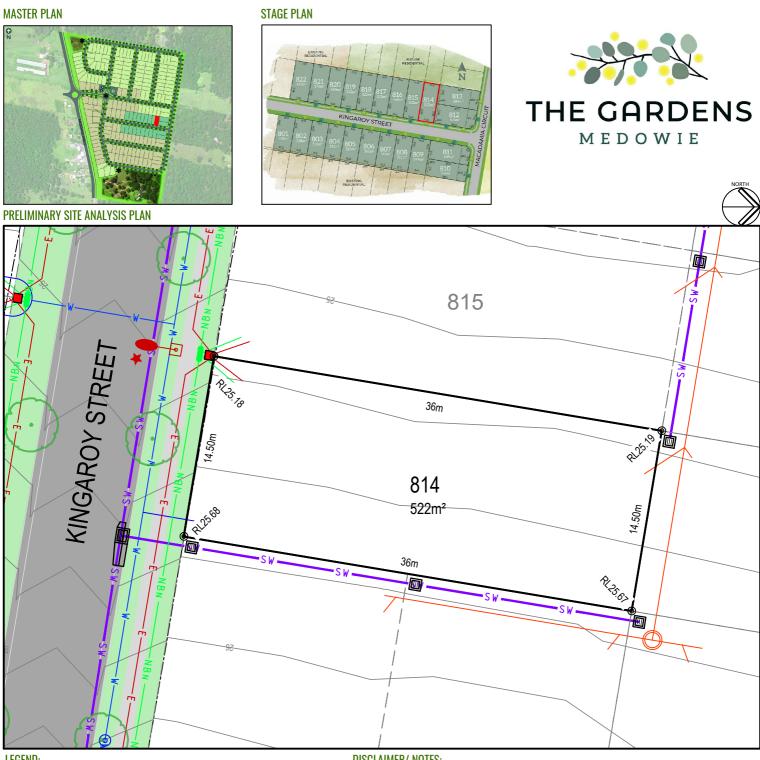
STREET TREES

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RESTRICTION ON THE USE OF LAND

ASSET PROTECTION ZONE BDY 0.25m CONTOURS

LOT 814, KINGAROY STREET, MEDOWIE

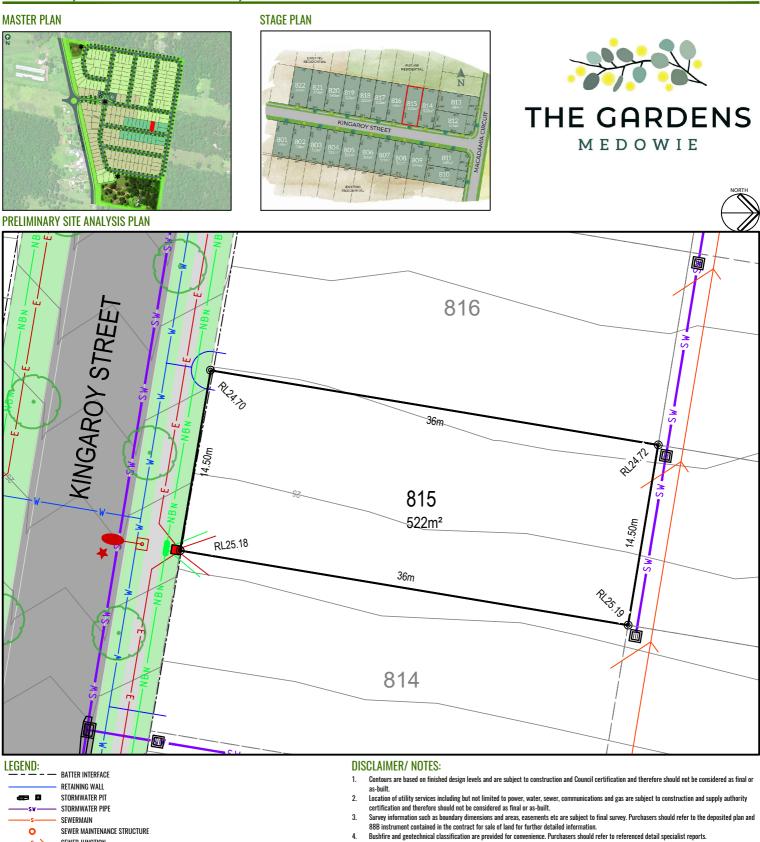


LEGEND:			DIS	SCLAIMER/ NOTES:		
	BATTER INTERFACE		1.	Contours are based on finished design levels and are subj	ject to construction and Cou	uncil certification and therefore should not be considered as final or
	RETAINING WALL			as-built.		
	STORMWATER PIT		2.			ications and gas are subject to construction and supply authority
SW	STORMWATER PIPE			certification and therefore should not be considered as fi		
<u> </u>	SEWERMAIN		3.			ect to final survey. Purchasers should refer to the deposited plan and
0	SEWER MAINTENANCE STRUCTURE		4	88B instrument contained in the contract for sale of land Bushfire and geotechnical classification are provided for		
<u> </u>	SEWER JUNCTION		5			information and is provided for convenience to assist purchasers in
v	WATERMAIN		0.	obtaining quotations/ tenders for dwelling construction.		
0 ×	HYDRANT, STOP VALVE		6.	This document does not form part of the contract of sale	of the land.	
NBN	TELSTRA / NBN		7.	Anticipated site classification is H2 or better (to be confi	irmed at completion of cons	struction).
	TELSTRA / NBN PIT					
E	UNDER GROUND POWER					
	ELECTRICITY PILLAR					
	ELECTRICAL EASEMENT					
* -0	LIGHT POLE	(EA) -	EASEMENT	TO DRAIN WATER 1.5 WIDE		
	RESTRICTION ON THE USE OF LAND		STRICTION ON USE OF LAND 0.9 WIDE	REVISION/S:	: STAGE 8 MARKETING r1	
\odot	STREET TREES	(EC) -	RESTRICTI	ION ON USE OF LAND 8.5 WIDE	DATE:	17 AUGUST 2021
	ASSET PROTECTION ZONE BDY				BY:	ACOR CONSULTANTS PTY LTD

0.25m CONTOURS



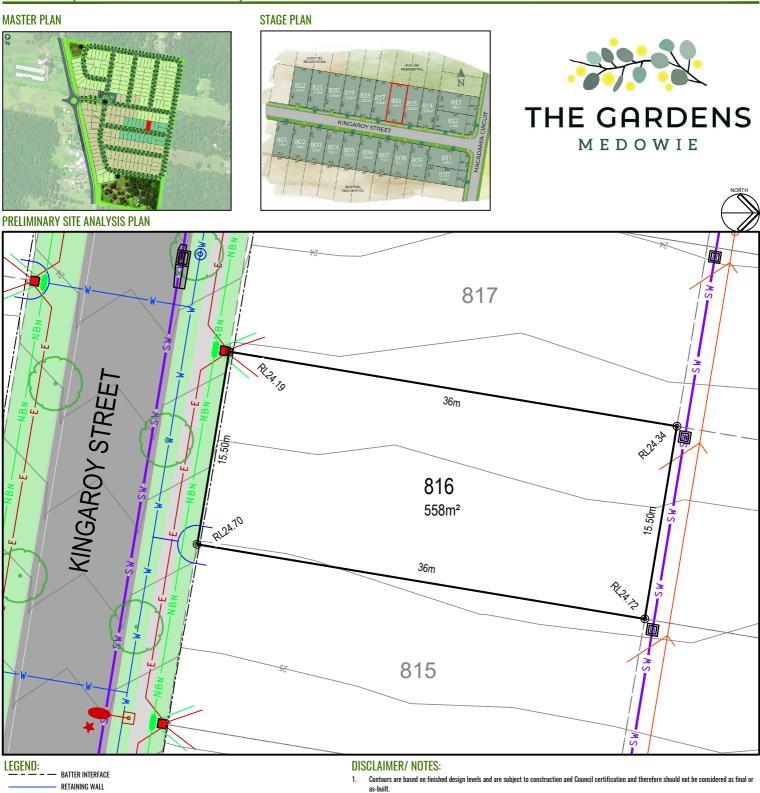
LOT 815, KINGAROY STREET, MEDOWIE



Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports. This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in SEWER JUNCTION 5. WATERMAIN obtaining quotations/ tenders for dwelling construction. This document does not form part of the contract of sale of the land. HYDRANT, STOP VALVE 0 × 6. 7. Anticipated site classification is H2 or better (to be confirmed at completion of construction) TELSTRA / NBN TELSTRA / NBN PIT UNDER GROUND POWER FI FCTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE - EASEMENT TO DRAIN WATER 1.5 WIDE - Restriction on use of land 0.9 wide (EA) **REVISION/S: STAGE 8 MARKETING r1** RESTRICTION ON THE USE OF LAND (EB) (EC) **RESTRICTION ON USE OF LAND 8.5 WIDE** DATE: 17 AUGUST 2021 \odot STREET TREES BY: ACOR CONSULTANTS PTY LTD ASSET PROTECTION ZONE BDY 0.25m CONTOURS



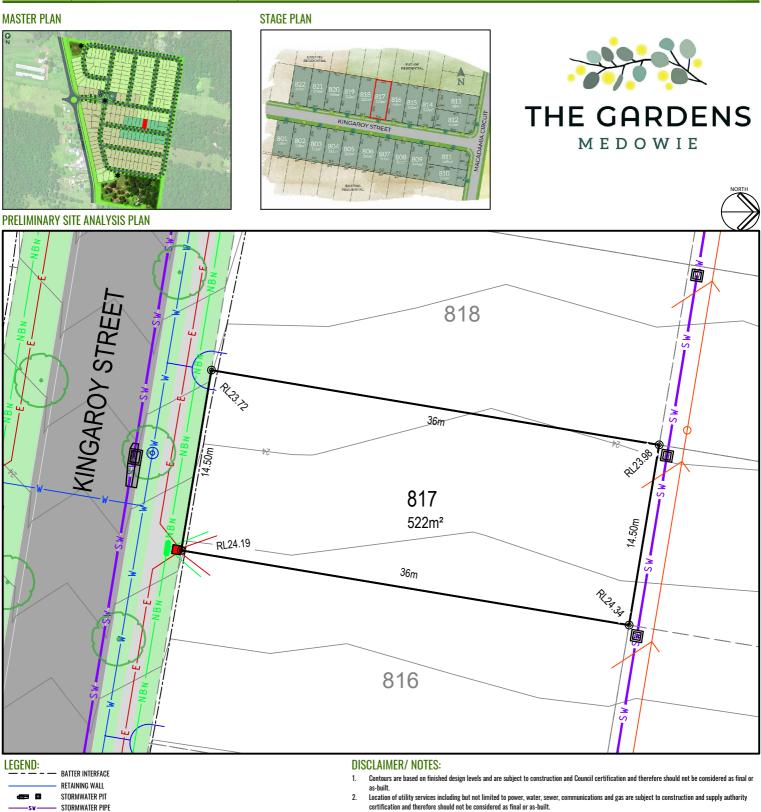
LOT 816, KINGAROY STREET, MEDOWIE



LEGEND:		U	190TAIMER/ MOLEO:	
	- BATTER INTERFACE	1.	Contours are based on finished design levels and are su	oject to construction and Council certification and therefore should not be considered as final or
	- RETAINING WALL		as-built.	
æ 0	STORMWATER PIT	2.		ower, water, sewer, communications and gas are subject to construction and supply authority
SW	- STORMWATER PIPE		certification and therefore should not be considered as	
s	- SEWERMAIN	3.		eas, easements etc are subject to final survey. Purchasers should refer to the deposited plan and
0	SEWER MAINTENANCE STRUCTURE		88B instrument contained in the contract for sale of lar	
<u>s</u>	- SEWER IUNCTION	4.		r convenience. Purchasers should refer to referenced detail specialist reports.
v	- WATERMAIN	ο.	obtaining quotations/ tenders for dwelling construction.	m various sources of design information and is provided for convenience to assist purchasers in
o ×	HYDRANT, STOP VALVE	6.	This document does not form part of the contract of sal	
	- TELSTRA / NBN	7.	Anticipated site classification is H2 or better (to be con	firmed at completion of construction).
-	TELSTRA / NBN PIT			
E	- UNDER GROUND POWER			
	ELECTRICITY PILLAR			
!	ELECTRICAL EASEMENT			
.	LIGHT POLE	(EA) - EASEMEI	NT TO DRAIN WATER 1.5 WIDE	
	 RESTRICTION ON THE USE OF LAND 		TION ON USE OF LAND 0.9 WIDE	REVISION/S: STAGE 8 MARKETING r1
\odot	STREET TREES	(EC) - RESTRIC	CTION ON USE OF LAND 8.5 WIDE	DATE: 17 AUGUST 2021
	- ASSET PROTECTION ZONE BDY			BY: ACOR CONSULTANTS PTY LTD
	- 0.25m CONTOURS			



LOT 817, KINGAROY STREET, MEDOWIE



3 Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers should refer to the deposited plan and SEWERMAIN 88B instrument contained in the contract for sale of land for further detailed information. SEWER MAINTENANCE STRUCTURE 0 Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports. This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in 4 SEWER JUNCTION 5. WATERMAIN obtaining quotations/ tenders for dwelling construction. This document does not form part of the contract of sale of the land. HYDRANT, STOP VALVE 0 × 6. 7. Anticipated site classification is H2 or better (to be confirmed at completion of construction) TELSTRA / NBN TELSTRA / NBN PIT UNDER GROUND POWER FI FCTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE - EASEMENT TO DRAIN WATER 1.5 WIDE - Restriction on use of land 0.9 wide (EA) **REVISION/S: STAGE 8 MARKETING r1** RESTRICTION ON THE USE OF LAND (EB) (EC) **RESTRICTION ON USE OF LAND 8.5 WIDE** \odot

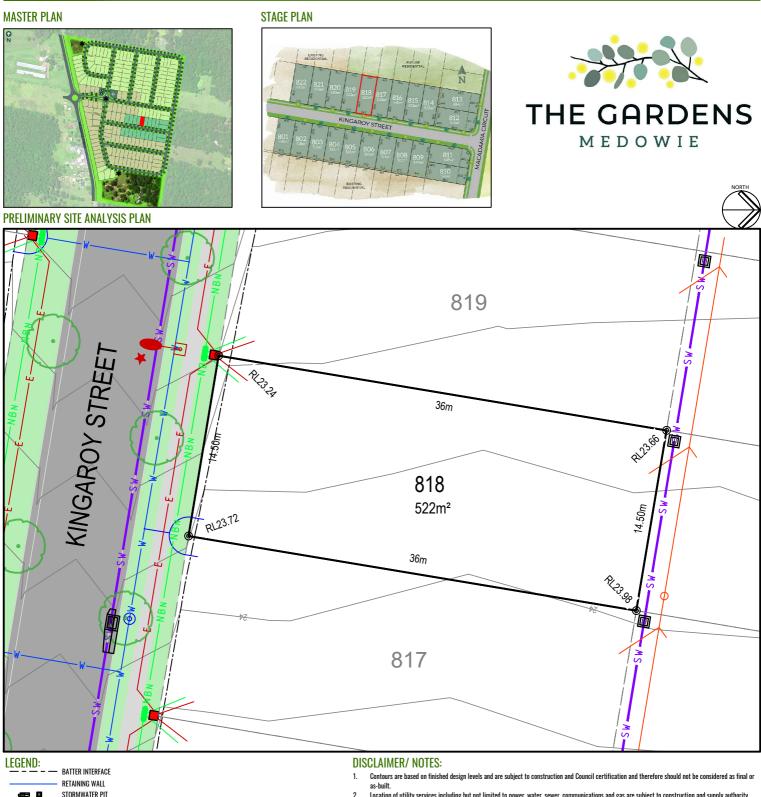
STREET TREES ASSET PROTECTION ZONE BDY

0.25m CONTOURS

DATE: 17 AUGUST 2021 BY: ACOR CONSULTANTS PTY LTD

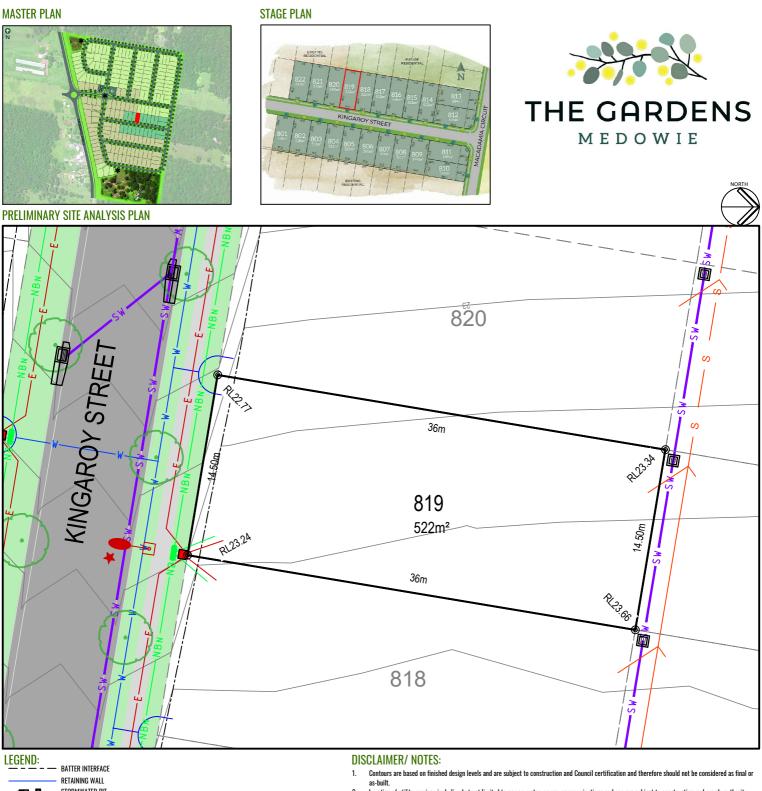


LOT 818, KINGAROY STREET, MEDOWIE



- 2 Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and supply authority certification and therefore should not be considered as final or as-built.
- Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers should refer to the deposited plan and 88B instrument contained in the contract for sale of land for further detailed information.
- Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports. This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchasers in
- STORMWATER PIPE -51 3 SEWERMAIN SEWER MAINTENANCE STRUCTURE 0 SEWER JUNCTION 5. WATERMAIN obtaining quotations/ tenders for dwelling construction. This document does not form part of the contract of sale of the land. HYDRANT, STOP VALVE 0 × 6. 7. Anticipated site classification is H2 or better (to be confirmed at completion of construction) TELSTRA / NBN TELSTRA / NBN PIT UNDER GROUND POWER FI FCTRICITY PILLAR ELECTRICAL EASEMENT LIGHT POLE - EASEMENT TO DRAIN WATER 1.5 WIDE - Restriction on use of land 0.9 wide (EA) **REVISION/S: STAGE 8 MARKETING r1** RESTRICTION ON THE USE OF LAND (EB) (EC) **RESTRICTION ON USE OF LAND 8.5 WIDE** DATE: \odot 17 AUGUST 2021 STREET TREES BY: ACOR CONSULTANTS PTY LTD ASSET PROTECTION ZONE BDY 0.25m CONTOURS

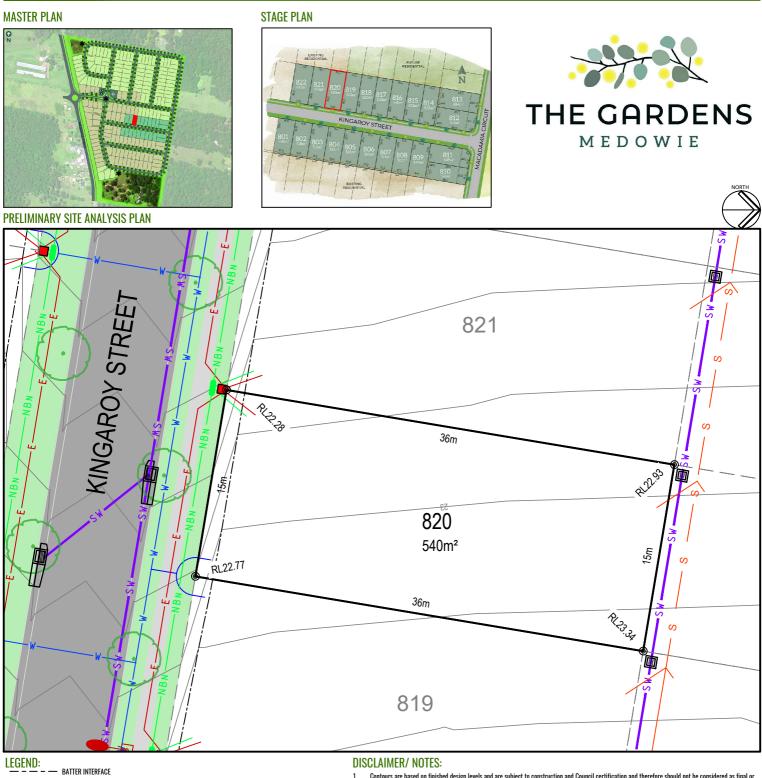
LOT 819, KINGAROY STREET, MEDOWIE



		I.	Contours are based on finished design levels and are sub	ject to construction and Cour	ncil certification and therefore should not be considered as final or
	- RETAINING WALL		as-built.		
æ 0	STORMWATER PIT	2.	Location of utility services including but not limited to po	ower, water, sewer, communi	cations and gas are subject to construction and supply authority
SW	- STORMWATER PIPE		certification and therefore should not be considered as f		
s	SEWERMAIN	3.			ct to final survey. Purchasers should refer to the deposited plan and
0	SEWER MAINTENANCE STRUCTURE		88B instrument contained in the contract for sale of land		
s	- SEWER JUNCTION	4. E	Bushfire and geotechnical classification are provided for		nformation and is provided for convenience to assist purchasers in
v	WATERMAIN	J.	obtaining quotations/ tenders for dwelling construction.	I various sources of design in	mormation and is provided for convenience to assist purchasers in
ο×	HYDRANT, STOP VALVE	6.	This document does not form part of the contract of sale	of the land.	
	TELSTRA / NBN	7.	Anticipated site classification is H2 or better (to be conf	irmed at completion of const	truction).
-	TELSTRA / NBN PIT				
E	- UNDER GROUND POWER				
	ELECTRICITY PILLAR				
[]	ELECTRICAL EASEMENT				
• -8	LIGHT POLE	(EA) - EASEMENT	TO DRAIN WATER 1.5 WIDE		
	RESTRICTION ON THE USE OF LAND		ON ON USE OF LAND 0.9 WIDE	REVISION/S:	STAGE 8 MARKETING r1
\odot	STREET TREES	(EC) - RESTRICTI	ON ON USE OF LAND 8.5 WIDE	DATE:	17 AUGUST 2021
	ASSET PROTECTION ZONE BDY			BY:	ACOR CONSULTANTS PTY LTD
	0.25m CONTOURS				



LOT 820, KINGAROY STREET, MEDOWIE



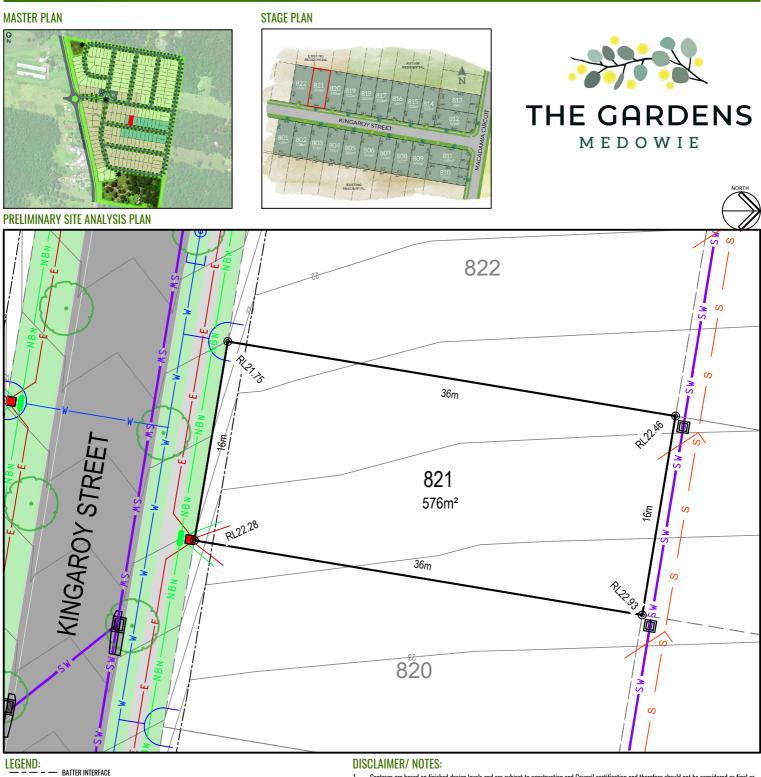
	DATTER INTERTAGE		1.	Contours are based on finished design levels and are sub	ject to construction and Co	uncil certification and therefore should not be considered as final or
	- RETAINING WALL			as-built.		
e 1	STORMWATER PIT		2.			nications and gas are subject to construction and supply authority
SW	- STORMWATER PIPE			certification and therefore should not be considered as f	inal or as-built.	
s	- SEWERMAIN		3.			ect to final survey. Purchasers should refer to the deposited plan and
0	SEWER MAINTENANCE STRUCTURE			88B instrument contained in the contract for sale of land		
	- SEWER JUNCTION		4.	Bushfire and geotechnical classification are provided for		
			5.		n various sources of design	information and is provided for convenience to assist purchasers in
	- WATERMAIN			obtaining quotations/ tenders for dwelling construction.		
0 × 0	HYDRANT, STOP VALVE		6.	This document does not form part of the contract of sale		
NBN	- TELSTRA / NBN		7.	Anticipated site classification is H2 or better (to be conf	firmed at completion of cons	struction).
	TELSTRA / NBN PIT					
<u>— Е</u>	- UNDER GROUND POWER					
	ELECTRICITY PILLAR					
	ELECTRICAL EASEMENT					
.	LIGHT POLE	(EA) -	- FASEMENT	TO DRAIN WATER 1.5 WIDE		
	 RESTRICTION ON THE USE OF LAND 	(ER) -		ON ON USE OF LAND 0.9 WIDE	REVISION/S	: STAGE 8 MARKETING r1
\odot	STREET TREES	(EC) -	RESTRICTI	ON ON USE OF LAND 8.5 WIDE	DATE:	17 AUGUST 2021
<u> </u>	SINLLI INLLS					
	- ASSET PROTECTION ZONE BDY				BY:	ACOR CONSULTANTS PTY LTD



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LOT 821, KINGAROY STREET, MEDOWIE



LEGEND: RETAINING WALL STORMWATER PIT SV STORMWATER PIPE SS SWERMAIN SSWERMAIN SSWER MAINTENANCE STRUCTURE SSWER JUNCTION WATERMAIN XA	 DISCLAIMER/ NOTES: Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as fin as-built. Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and supply author certification and therefore should not be considered as final or as-built. Survey information such as boundary dimensions and areas, easements etc are subject to final survey. Purchasers should refer to the deposited pla 888 instrument contained in the contract for sale of land for further detailed information. Bushfire and geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports. This preliminary site analysis plan has been collated from various sources of design information and is provided for convenience to assist purchase obtaining quotations/ tenders for dwelling construction. This document does not form part of the contract of sale of the land. Anticipated site classification is H2 or better (to be confirmed at completion of construction). 	ority Ian and
ELECTRICAL EASEMENT LIGHT POLE RESTRICTION ON THE USE OF LAND STREET TREES ASSET PROTECTION ZONE BDY	(EA) - EASEMENT TO DRAIN WATER 1.5 WIDE (EB) - RESTRICTION ON USE OF LAND 0.9 WIDE (EC) - RESTRICTION ON USE OF LAND 8.5 WIDE (EC) - RESTRICTION ON USE OF LAND 8.5 WIDE DATE: 17 AUGUST 2021 BY: ACOR CONSULTANTS PTY LT	TD

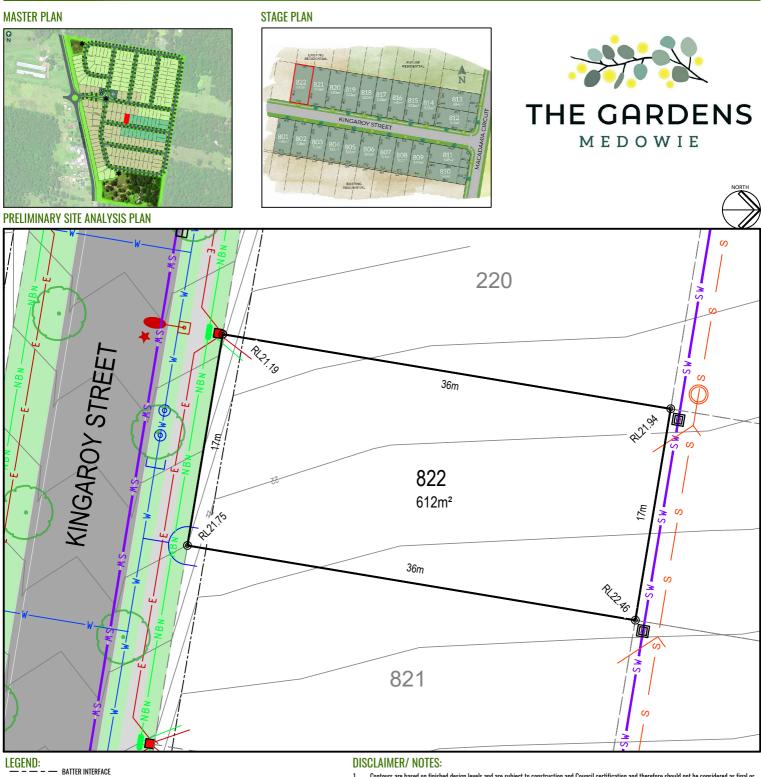
0.25m CONTOURS

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LOT 822, KINGAROY STREET, MEDOWIE



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-		-	-	-

LEGEND:	DISOLAIMER/ MOTES:	
— — — — BATTER INTERFACE — — RETAINING WALL	 Contours are based on finished design levels and as-built. 	are subject to construction and Council certification and therefore should not be considered as final or
STORMWATER PIT	 Location of utility services including but not limit certification and therefore should not be conside 	ted to power, water, sewer, communications and gas are subject to construction and supply authority red as final or as-built
s		and areas, easements etc are subject to final survey. Purchasers should refer to the deposited plan and
SEWER MAINTENANCE STRUCTURE	4. Bushfire and geotechnical classification are prov	ided for convenience. Purchasers should refer to referenced detail specialist reports.
WATERMAIN	obtaining quotations/ tenders for dwelling constr	
O > HYDRANT, STOP VALVE TEISTRA / NBN	 This document does not form part of the contract Anticipated site classification is H2 or better (to 	
TELSTRA / NBN PIT		
ELECTRICITY PILLAR		
ELECTRICAL EASEMENT		
LIGHT POLE	(EA) - EASEMENT TO DRAIN WATER 1.5 WIDE (EB) - RESTRICTION ON USE OF LAND 0.9 WIDE	REVISION/S: STAGE 8 MARKETING r1
STREET TREES	(EC) - RESTRICTION ON USE OF LAND 8.5 WIDE	DATE: 17 AUGUST 2021
ASSET PROTECTION ZONE BDY		BY: ACOR CONSULTANTS PTY LTD
0.25m CONTOURS		