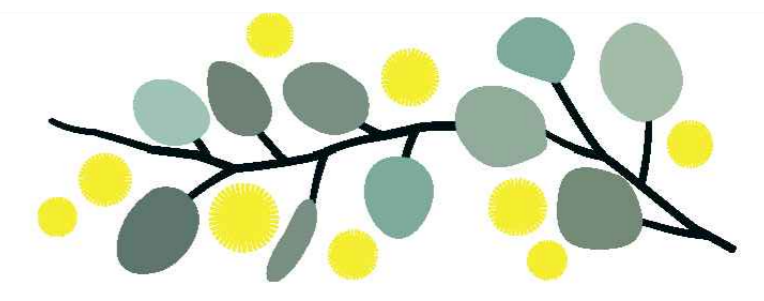


LOT 901 MACADAMINA CIRCUIT, MEDOWIE



THE GARDENS
MEDOWIE

MASTER PLAN

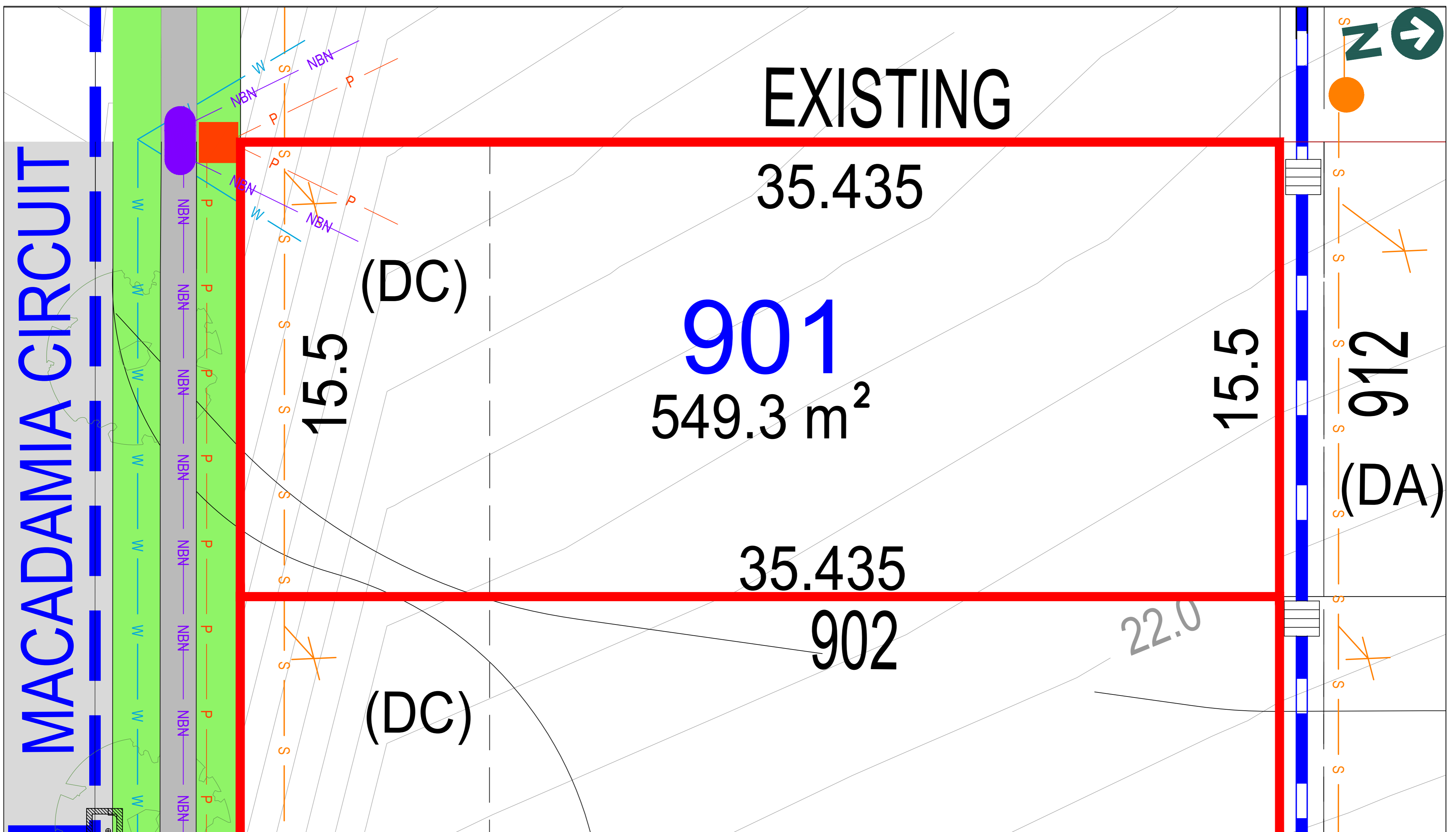


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:250 @ A4



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
- KERB INLET PIT
- STORMWATER PIT
- ELECTRICITY PILLAR
- ELECTRICAL SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (DA) EASEMENT TO DRAIN WATER 1.5m WIDE
- (BDA) AREA BENEFITED EASEMENT TO DRAIN WATER 1.5m WIDE
- (DC) RESTRICTION ON THE USE OF LAND (8.5 WIDE)

DISCLAIMER/ NOTES:

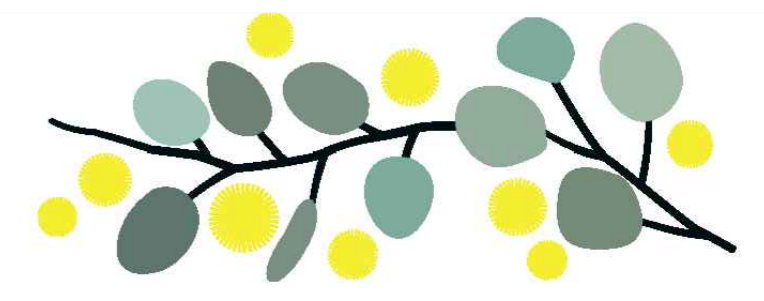
1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
2. Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
3. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
4. Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
5. This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
6. This document does not form part of the Contract of Sale of the Land.

REVISION/S: HD213 STAGE 9 MARKETING r1

DATE: 17th OF MAY 2021

BY: HIGH DEFINITION DESIGN PTY LTD

LOT 904 MACADAMIA CIRCUIT, MEDOWIE



THE GARDENS
MEDOWIE

MASTER PLAN



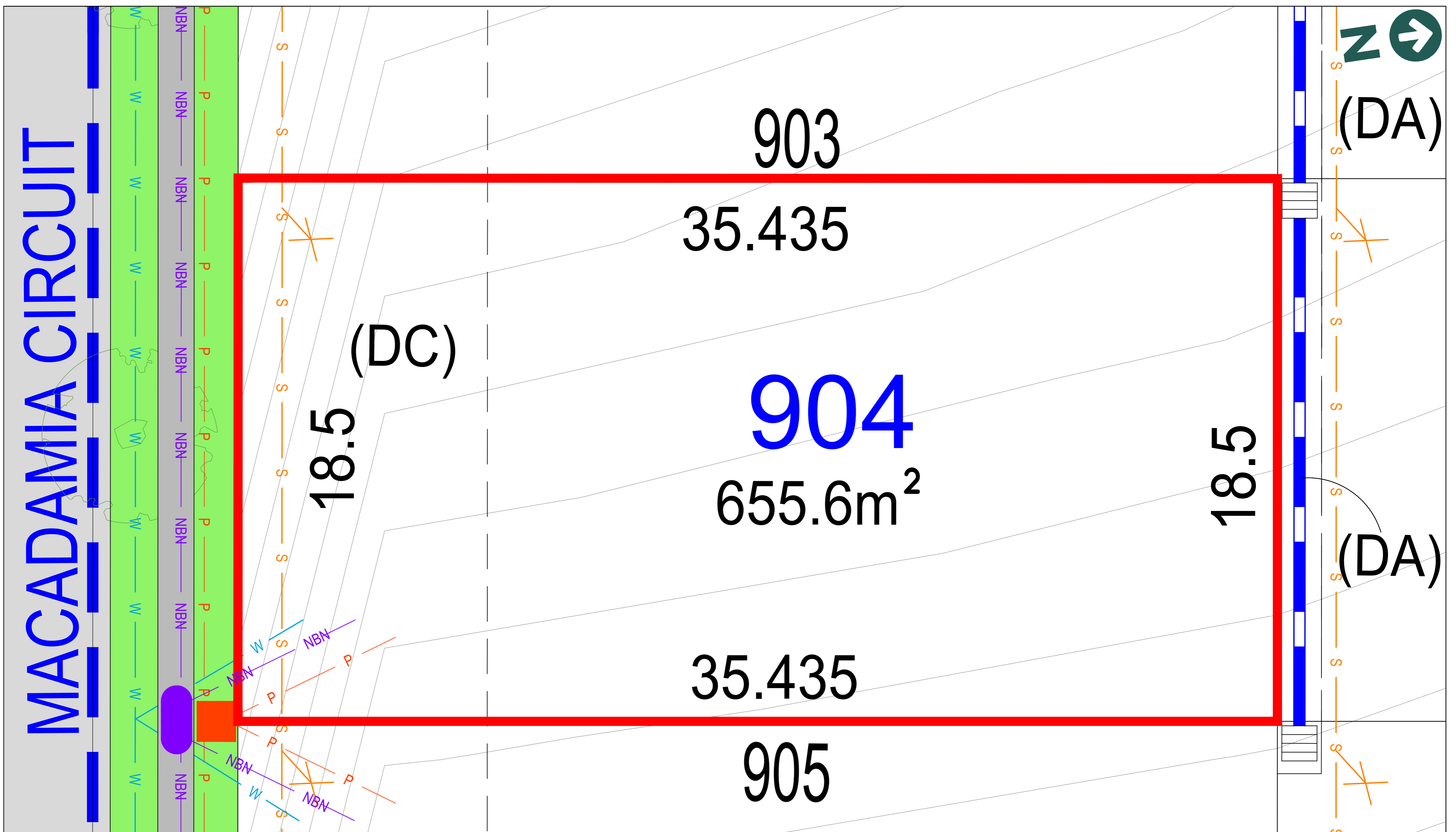
STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:250 @ A4

0 20 40 60m



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
- KERB INLET PIT
- STORMWATER PIT
- ELECTRICITY PILLAR
- ELECTRICAL SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (DA) EASEMENT TO DRAIN WATER 1.5m WIDE
- (BDA) AREA BENEFITED EASEMENT TO DRAIN WATER 1.5m WIDE
- (DC) RESTRICTION ON THE USE OF LAND (8.5 WIDE)

DISCLAIMER/ NOTES:

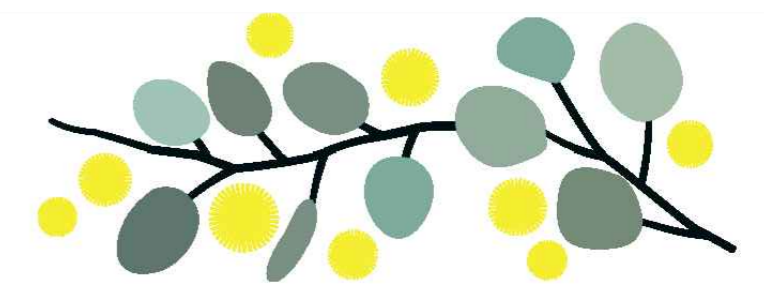
1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
2. Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
3. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
4. Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
5. This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
6. This document does not form part of the Contract of Sale of the Land.

REVISION/S: HD213 STAGE 9 MARKETING r1

DATE: 17th OF MAY 2021

BY: HIGH DEFINITION DESIGN PTY LTD

LOT 906 MACADAMIA CIRCUIT, MEDOWIE



THE GARDENS
MEDOWIE

MASTER PLAN

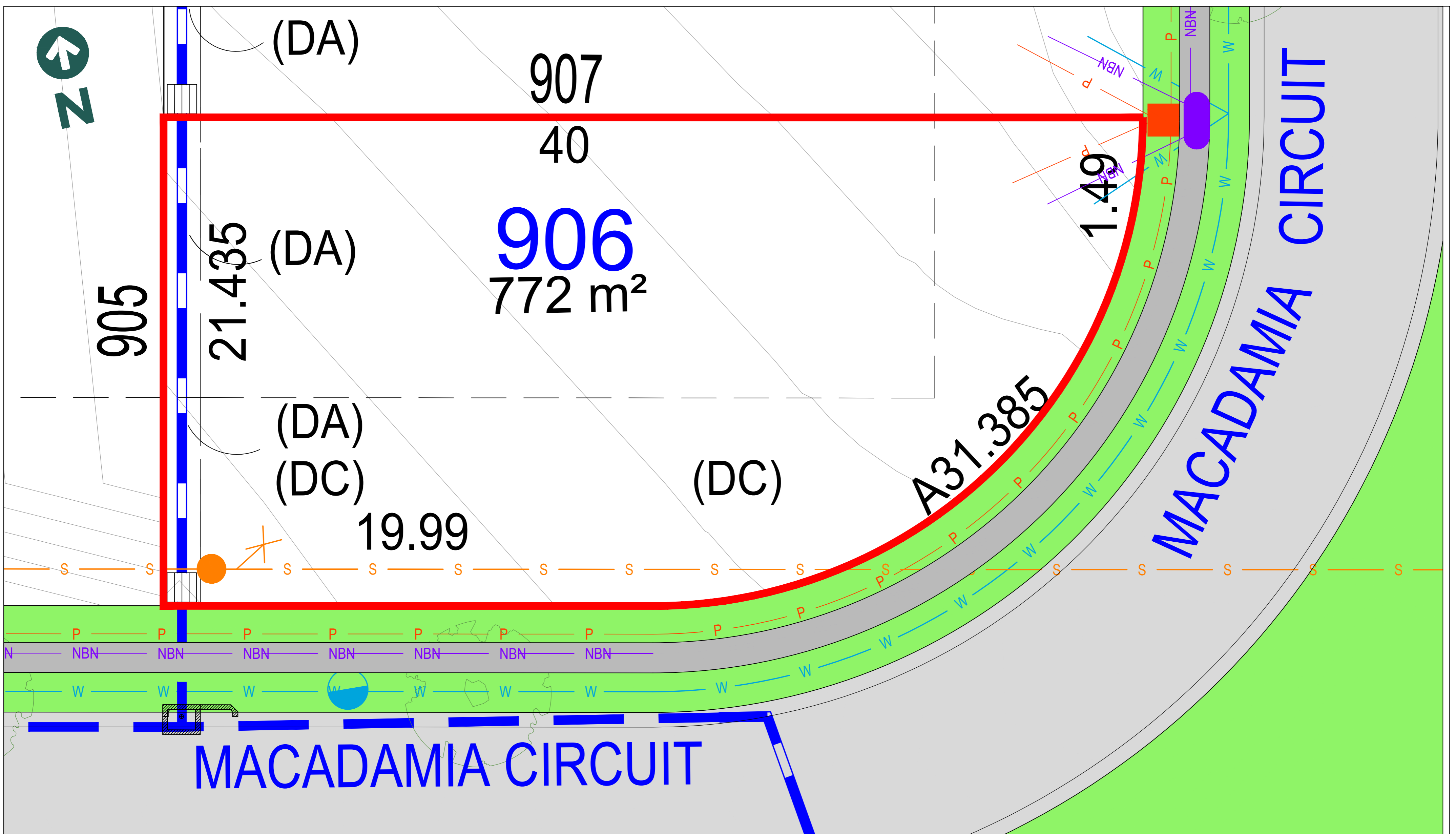


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
- KERB INLET PIT
- STORMWATER PIT
- ELECTRICITY PILLAR
- ELECTRICAL SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

- (DA) EASEMENT TO DRAIN WATER 1.5m WIDE
- (BDA) AREA BENEFITED EASEMENT TO DRAIN WATER 1.5m WIDE
- (DC) RESTRICTION ON THE USE OF LAND (8.5 WIDE)

DISCLAIMER/ NOTES:

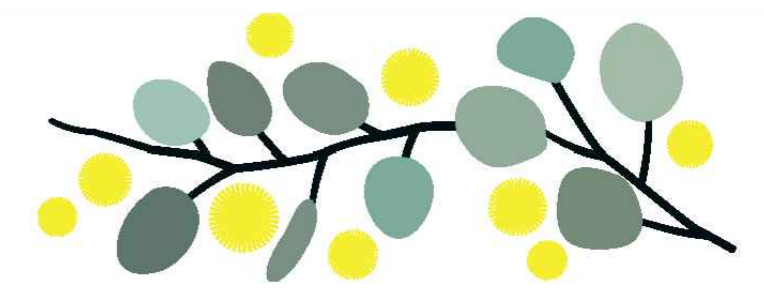
1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
2. Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
3. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
4. Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
5. This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
6. This document does not form part of the Contract of Sale of the Land.

REVISION/S: HD213 STAGE 9 MARKETING r1

DATE: 17th OF MAY 2021

BY: HIGH DEFINITION DESIGN PTY LTD

LOT 907 MACADAMINA CIRCUIT, MEDOWIE

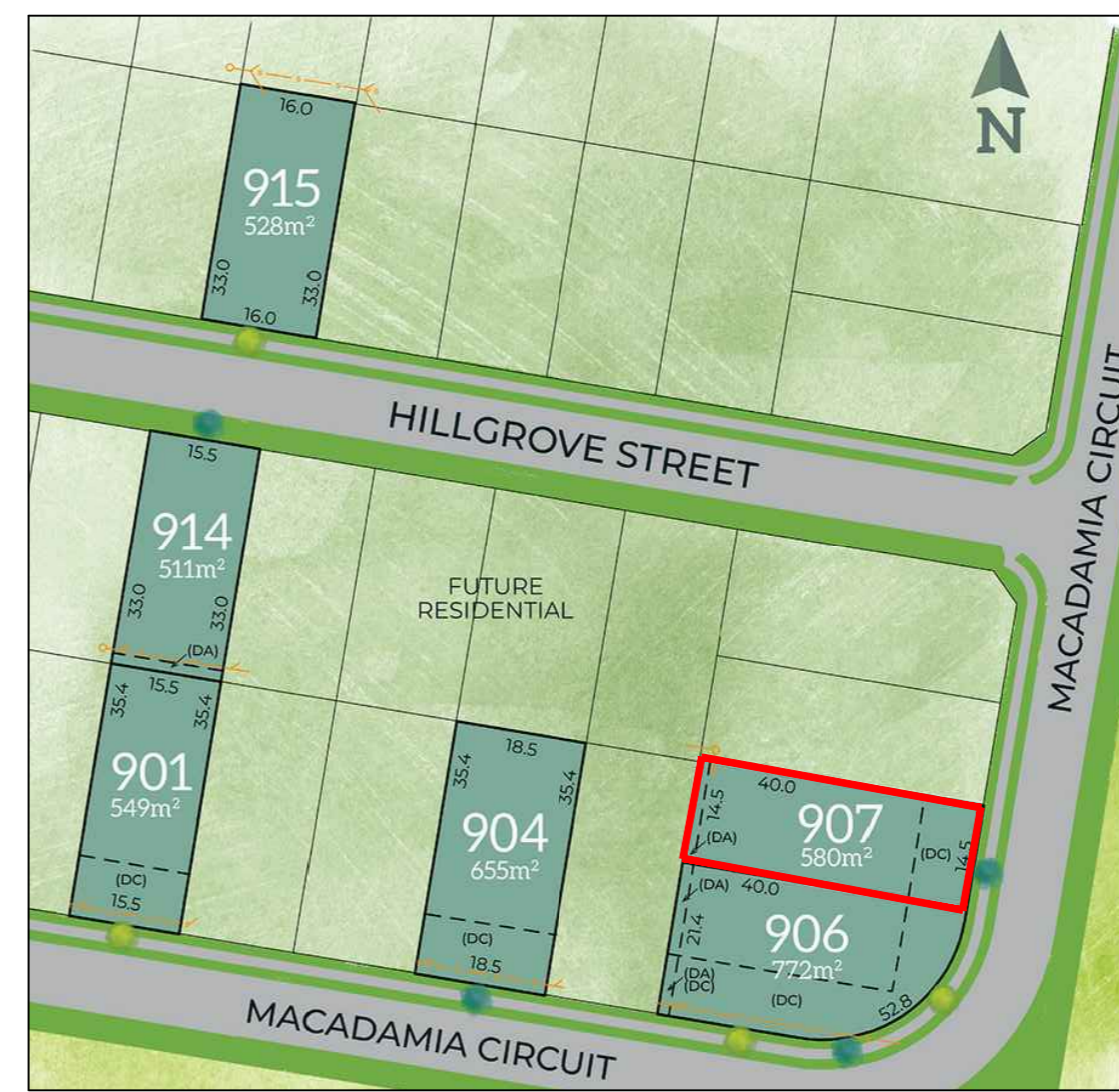


THE GARDENS
MEDOWIE

MASTER PLAN

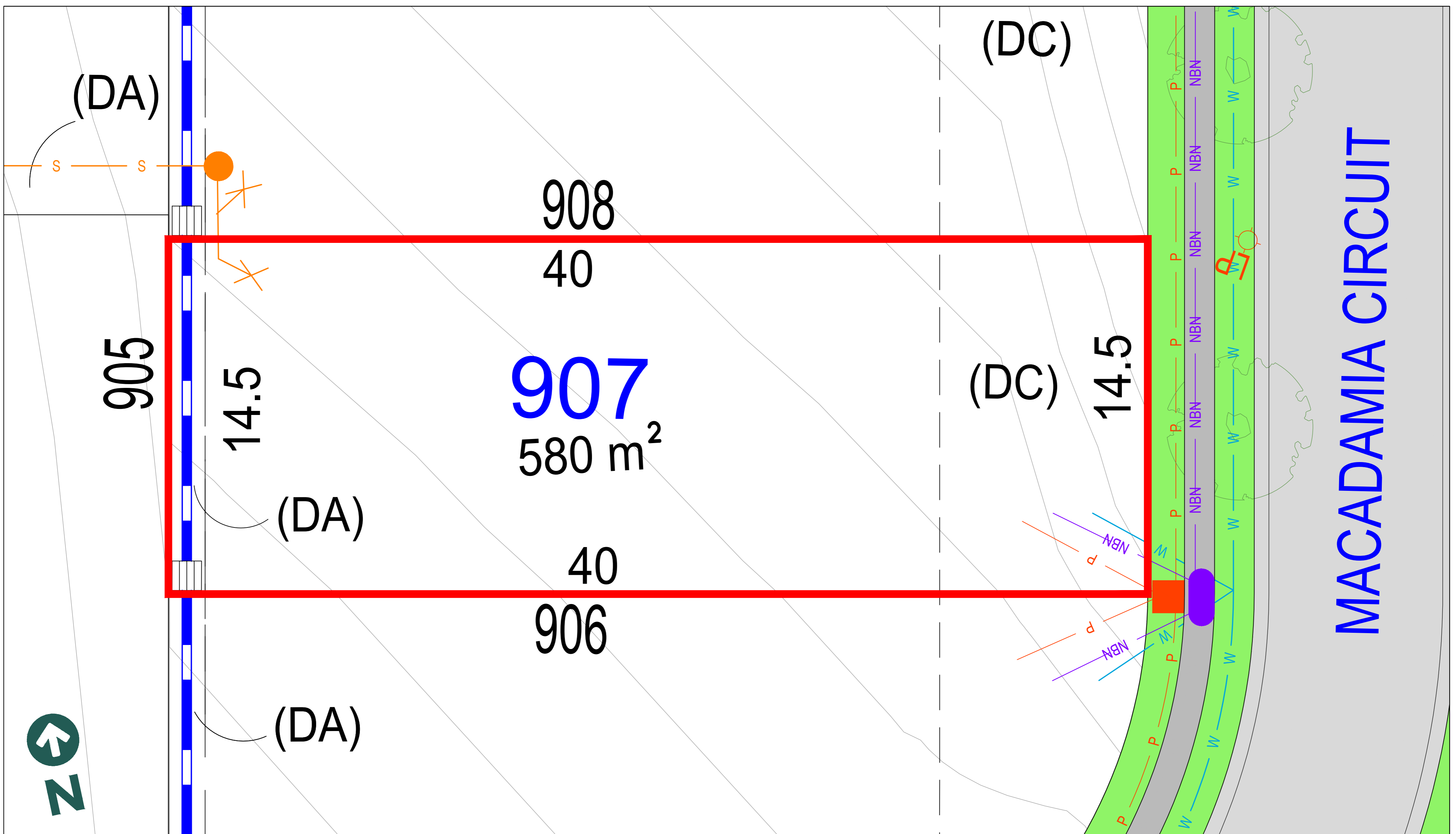
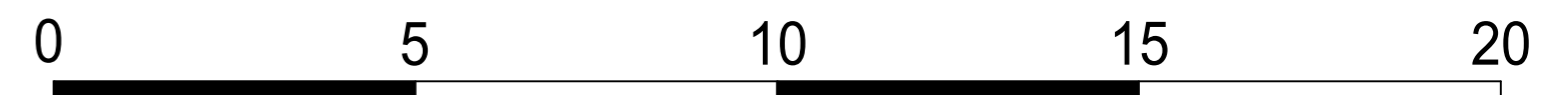


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:300 @ A4



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
- KERB INLET PIT
- STORMWATER PIT
- ELECTRICITY PILLAR
- ELECTRICAL SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

(DA) EASEMENT TO DRAIN WATER 1.5m WIDE

(BDA) AREA BENEFITED EASEMENT TO DRAIN WATER 1.5m WIDE

(DC) RESTRICTION ON THE USE OF LAND (8.5 WIDE)

DISCLAIMER/ NOTES:

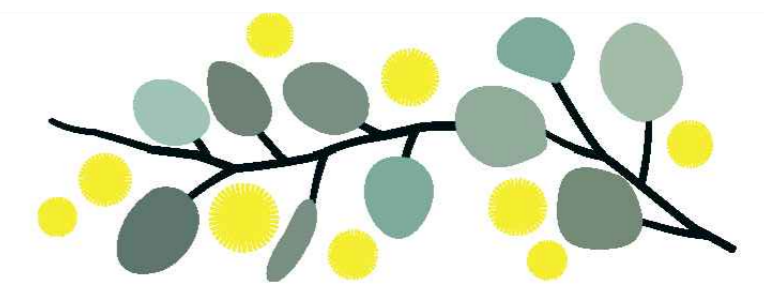
1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
2. Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
3. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
4. Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
5. This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
6. This document does not form part of the Contract of Sale of the Land.

REVISION/S: HD213 STAGE 9 MARKETING r1

DATE: 17th OF MAY 2021

BY: HIGH DEFINITION DESIGN PTY LTD

LOT 914 HILLGROVE STREET, MEDOWIE

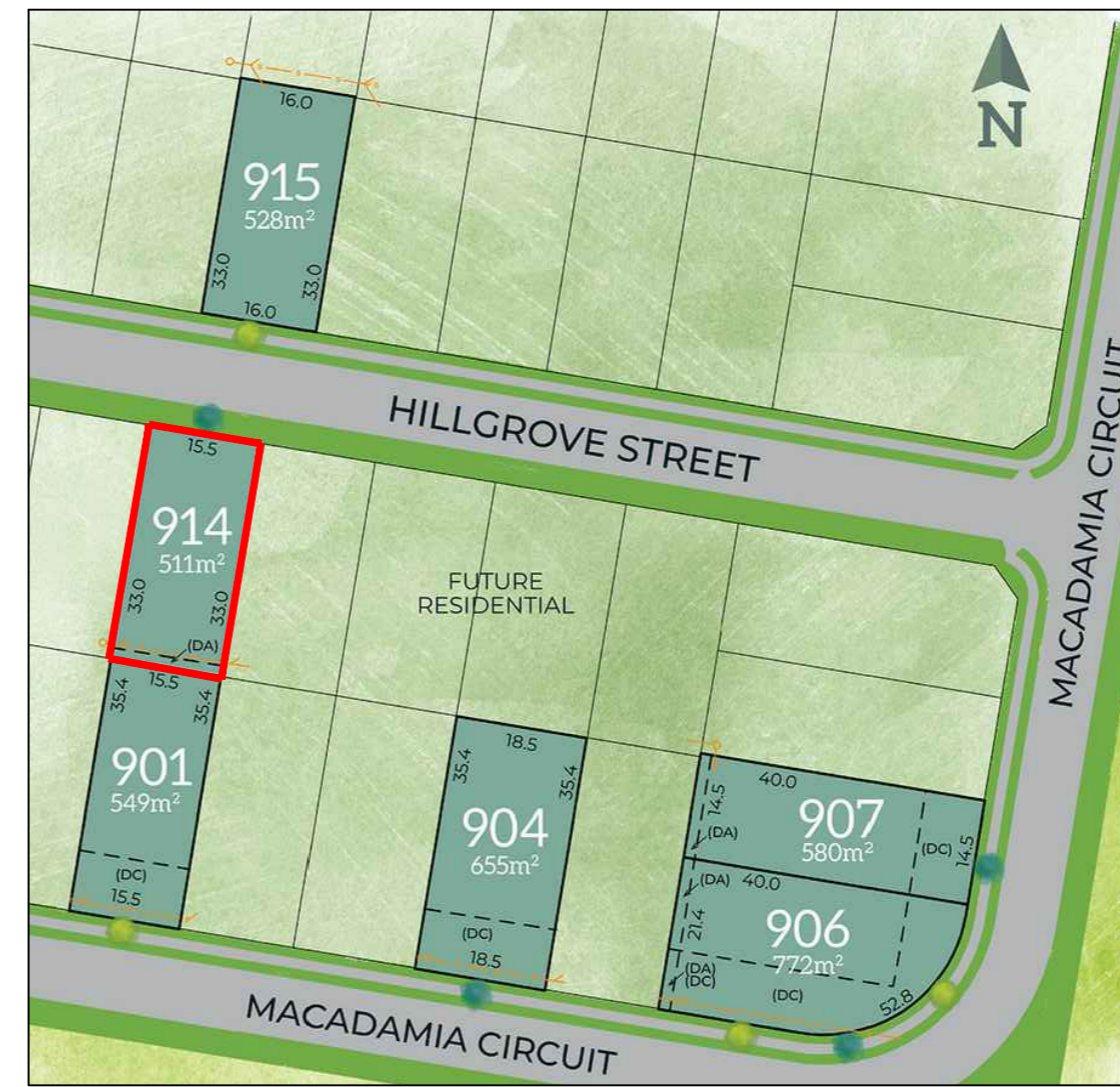


THE GARDENS
MEDOWIE

MASTER PLAN

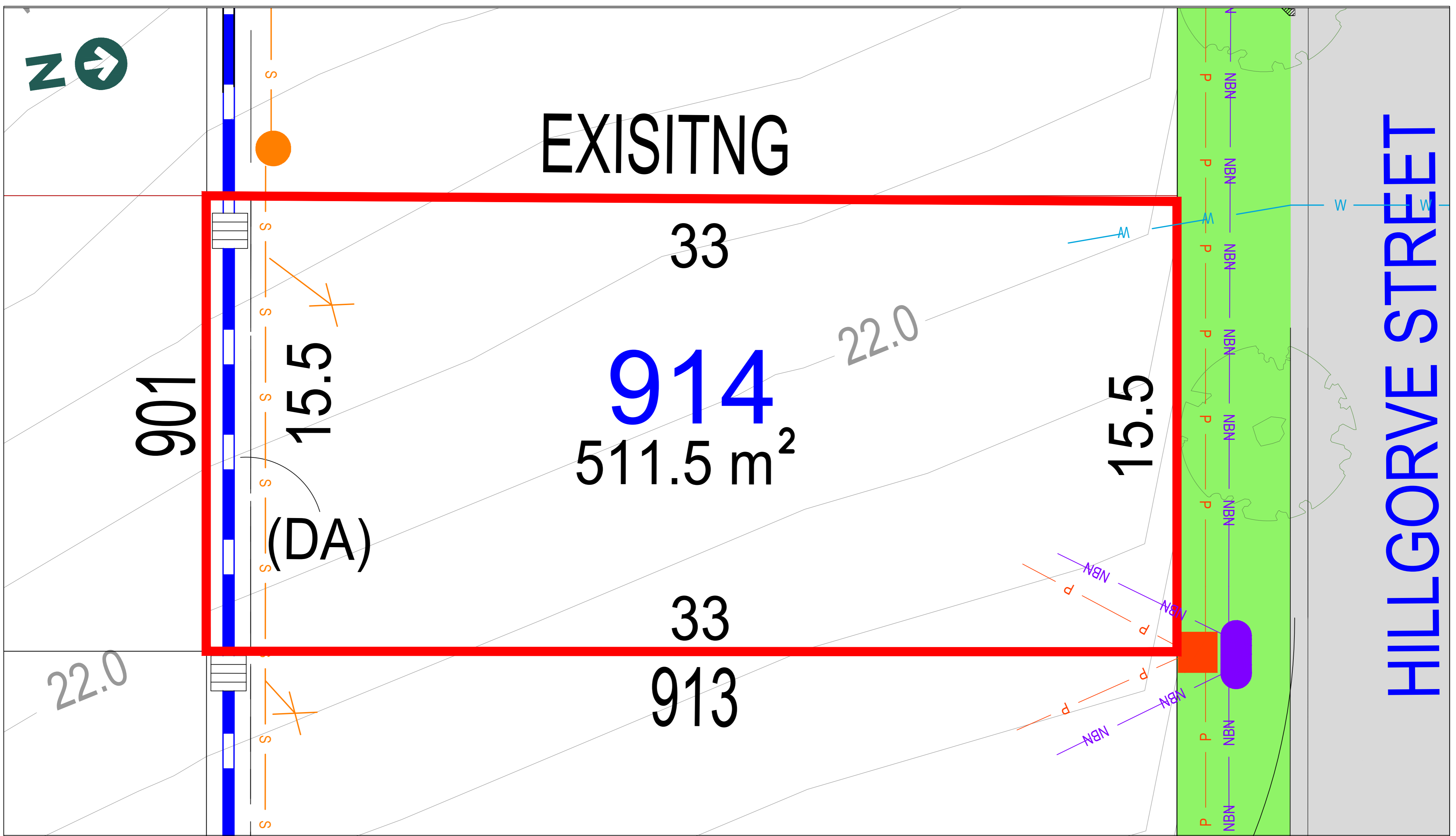
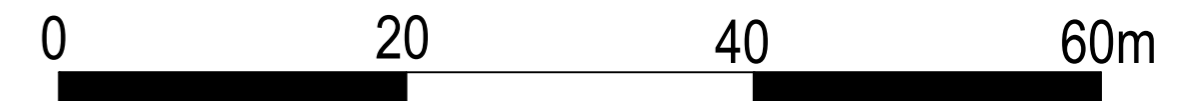


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:250 @ A4



LEGEND:

- TELSTRA /NBN PIT
- HYDRANT
- STOP VALVE
- SEWER MANHOLE
- LIGHT POLE
- KERB INLET PIT
- STORMWATER PIT
- ELECTRICITY PILLAR
- ELECTRICAL SUBSTATION
- STREET TREES
- STORMWATER PIPE
- SEWER JUNCTION
- SEWER MAIN
- WATER MAIN
- TELSTRA /NBN
- UNDER GROUND POWER

Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)

(DA) EASEMENT TO DRAIN WATER 1.5m WIDE

(BDA) AREA BENEFITED EASEMENT TO DRAIN WATER 1.5m WIDE

(DC) RESTRICTION ON THE USE OF LAND (8.5 WIDE)

DISCLAIMER/ NOTES:

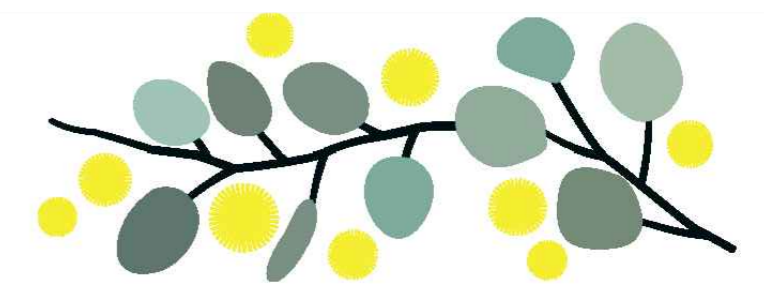
1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
2. Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
3. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
4. Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
5. This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
6. This document does not form part of the Contract of Sale of the Land.

REVISION/S: HD213 STAGE 9 MARKETING r1

DATE: 17th OF MAY 2021

BY: HIGH DEFINITION DESIGN PTY LTD

LOT 915 HILLGROVE STREET, MEDOWIE



THE GARDENS
MEDOWIE

MASTER PLAN

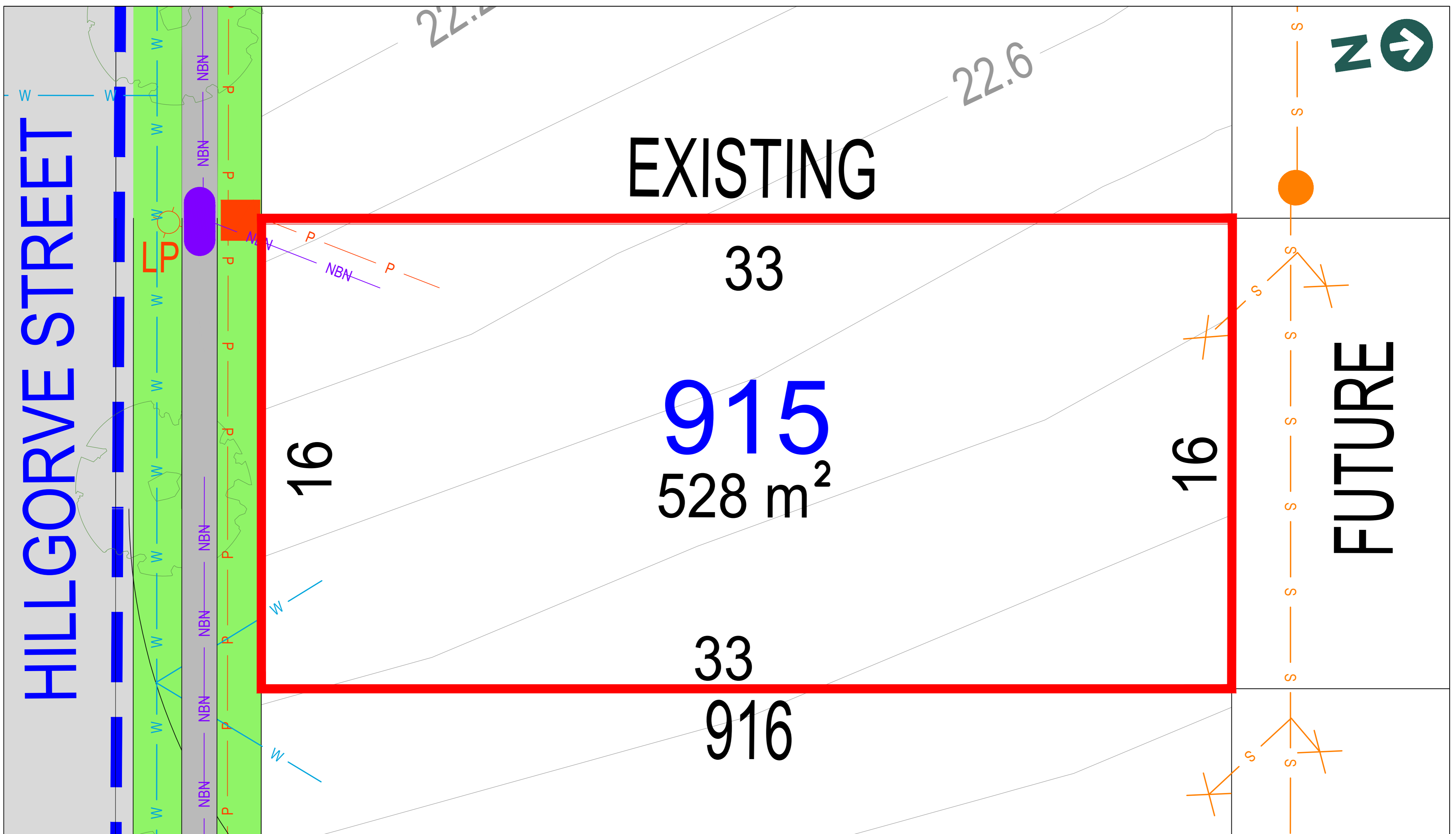
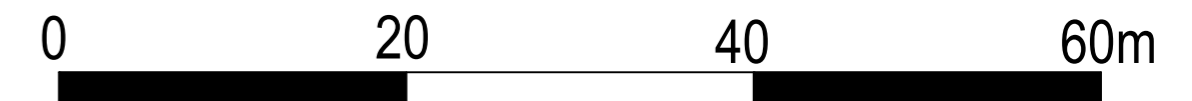


STAGE PLAN



PRELIMINARY SITE ANALYSIS PLAN

SCALE 1:250 @ A4



LEGEND:

- | | | | |
|--|-----------------------|--|--------------------|
| | TELSTRA /NBN PIT | | STORMWATER PIPE |
| | HYDRANT | | SEWER JUNCTION |
| | STOP VALVE | | SEWER MAIN |
| | SEWER MANHOLE | | WATER MAIN |
| | LIGHT POLE | | TELSTRA /NBN |
| | KERB INLET PIT | | UNDER GROUND POWER |
| | STORMWATER PIT | | |
| | ELECTRICITY PILLAR | | |
| | ELECTRICAL SUBSTATION | | |
| | STREET TREES | | |
- Anticipated Site Classification - H1 Class
(to be confirmed at completion of construction)
- (DA) EASEMENT TO DRAIN WATER 1.5m WIDE
(BDA) AREA BENEFITED EASEMENT TO DRAIN WATER 1.5m WIDE
(DC) RESTRICTION ON THE USE OF LAND (8.5 WIDE)

DISCLAIMER/ NOTES:

1. Contours are based on finished design levels and are subject to construction and Council certification and therefore should not be considered as final or as-built.
2. Location of utility services including but not limited to power, water, sewer, communications and gas are subject to construction and Supply Authority certification and therefore should not be considered as final or as-built.
3. Survey information such as boundary dimensions and areas, easements etc are subject to Final Survey. Purchasers should refer to the Deposited Plan and 88B Instrument contained in the Contract for Sale of Land for further detailed information.
4. Bushfire and Geotechnical classification are provided for convenience. Purchasers should refer to referenced detail specialist reports.
5. This Preliminary Site Analysis Plan has been collated from various sources of design information and is provided for convenience to assist Purchasers in obtaining quotations/tenders for dwelling construction.
6. This document does not form part of the Contract of Sale of the Land.

REVISION/S: HD213 STAGE 9 MARKETING r1

DATE: 17th OF MAY 2021

BY: HIGH DEFINITION DESIGN PTY LTD